



DEVELOPMENT REVIEW COMMITTEE AGENDA

THURSDAY – MARCH 28, 2024 VIA ZOOM CONFERENCING

**APPLICANTS AND/OR THEIR REPRESENTATIVES
ARE REQUIRED TO ATTEND THE DRC MEETING.**

*** IF YOU ARE UNABLE TO ATTEND, PLEASE NOTIFY US BY PHONING ***

360-754-4180

PERMIT #:	TUM-22-1144
PROJECT TITLE:	Michels Laydown Yard
REVIEW STATUS:	FORMAL SITE PLAN REVIEW
APPLICANT(S):	Michels Electric
REPRESENTATIVE(S):	Skillings Inc
OWNER(S):	RDLP Tumwater LLC
LOCATION:	9433 Dowcor Lane SW
PARCEL(S):	12721120200, 12721120201, 12721120202, 12721120204
REQUEST:	Parking lot and gravel laydown yard
TIME:	9:00 a.m. – 10:30 a.m.

PERMIT #:	TUM-24-0430
PROJECT TITLE:	Center Street Commerce Warehouse & Laydown Yard
REVIEW STATUS:	FEASIBILITY REVIEW
APPLICANT(S):	Panattoni Development
REPRESENTATIVE(S):	Barghausen Engeineers
OWNER(S):	Port of Olympia
LOCATION:	8277 Center Street SW
PARCEL(S):	12710100302
REQUEST:	Construct 200,000 sf Warehouse & 382,923 sf Laydown Yard
TIME:	10:30 a.m. – 12:00 p.m.



CITY OF TUMWATER
 555 ISRAEL RD. SW, TUMWATER, WA 98501
 (360) 754-4180
 Email: cdd@ci.tumwater.wa.us

Formal
~~Preliminary~~ **Site Plan Review**
 APPLICATION

TUM - 22-1144	DATE STAMP 03-06-20024
TRM	
RCVD BY	

Application fee: \$330.00 (one acre or less); \$440.00 (greater than one acre); Resubmittal application fee: \$165.00 (one acre or less); \$275.00 (greater than one acre). Please inquire if credit from the Feasibility Site Plan Review application fee applies.
 In most cases, meetings will be scheduled on Thursdays of the following week, when applications are received prior to 5:00 p.m. on Wednesdays.

SUBJECT PROPERTY

ADDRESS OF PROPERTY (COMPLETE): 9433 Dowcor In sw Tumwater WA, 98512
 PROJECT NAME: Michels Laydown Yard PARCEL NUMBER(S): 12721120-200,201,202,204

APPLICANT (please print neatly)

NAME OF APPLICANT: Michels Electric
 APPLICANT'S MAILING ADDRESS (COMPLETE): 817 Main st PO box 128 Brownsville WI, 53006
 APPLICANT'S TELEPHONE(S): _____ APPLICANT'S E-MAIL: _____

PROJECT REPRESENTATIVE

NAME OF PROJECT REPRESENTATIVE: Skillings inc
 REPRESENTATIVE'S MAILING ADDRESS (COMPLETE): 5016 Lacey Blvd, lacey wa 98503
 REPRESENTATIVE'S TELEPHONE(S): 360-461-3399 REPRESENTATIVE'S E-MAIL: Jgraham@skillings.com

PROPERTY OWNER

NAME OF PROPERTY OWNER: RDLP Tumwater LLC
 OWNER'S MAILING ADDRESS (COMPLETE): 817 Main st PO box 128 Brownsville WI, 53006
 OWNER'S TELEPHONE(S): _____ OWNER'S E-MAIL: _____

PROJECT DESCRIPTION (attach additional sheets and documentation, as needed)

Frontage improvements on Dowcor In, overflow parking lot, Laydown yard with infiltration pond

I affirm that all answers, statements, and information submitted with this application are correct and accurate to the best of my knowledge. I also affirm that I am the owner of the subject site or am duly authorized by the owner to act with respect to this application. Further, I grant permission to any and all employees and representatives of the City of Tumwater and other governmental agencies to enter upon and inspect said property as reasonably necessary to process this application. I agree to pay all fees of the City that apply to this application.

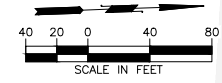
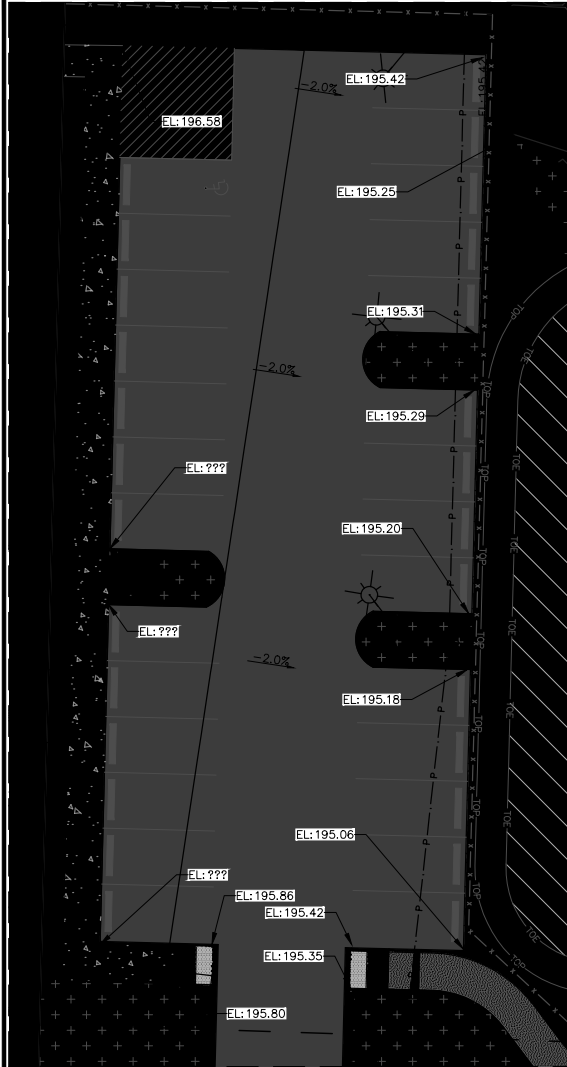
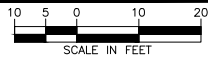
 Signature of Applicant/Representative

 Date

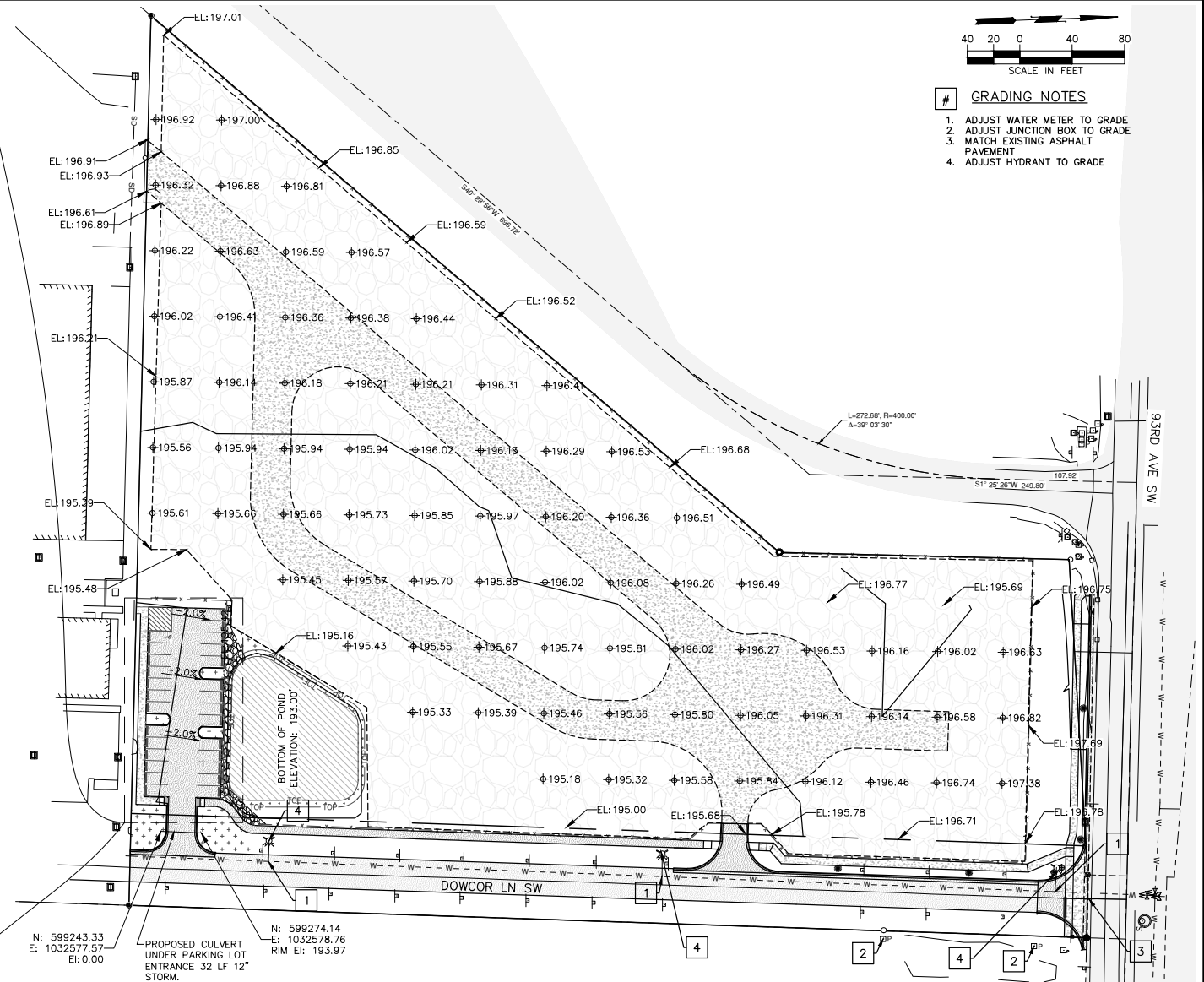
 Signature of Port of Olympia representative (if applicable)

 Date

Please attach the **Preliminary Site Plan Review** submittal checklist to this Application.



- # GRADING NOTES
1. ADJUST WATER METER TO GRADE
 2. ADJUST JUNCTION BOX TO GRADE
 3. MATCH EXISTING ASPHALT PAVEMENT
 4. ADJUST HYDRANT TO GRADE



N: 599243.33
E: 1032577.57
EI: 0.00

PROPOSED CULVERT UNDER PARKING LOT ENTRANCE 32 LF 12" STORM.

N: 599274.14
E: 1032578.76
RIM EI: 193.97

DESIGNED BY: J. GRAHAM	DATE	NO.	DATE	REVISIONS DESCRIPTION
ENTERED BY: J. SIMS	3/4/24			
CHECKED BY: T. SKILLINGS	3/4/24			
PROJ. ENGR.: T. SKILLINGS	3/4/24			

Plotted By: Jordan Graham on 3/4/24 10:48 AM
Saved By: Jaims on 2/20/24 4:07 PM
G:\Project\2022\22034 Michaels\CAD\SHETS\22034_BP_GR.dwg



SKILLINGS

5016 Lacey Boulevard SE, Lacey, Washington 98503
(360) 491-3399 Fax (360) 491-3857

CITY OF TUMWATER

TUMWATER Wa

MICHAELS LAYDOWN YARD AND FRONTAGE IMPROVEMENTS

GRADING & DRAINAGE PLAN (ON-SITE)

JOB NUMBER	22034
PRELIM	
SHEET	10
OF	12
SHEETS	



CITY OF TUMWATER
 555 ISRAEL RD. SW, TUMWATER, WA 98501
 (360) 754-4180
 Email: cdd@ci.tumwater.wa.us
FEASIBILITY SITE PLAN REVIEW
Application

TUM -	DATE STAMP
24-0430	03-15-2024
TRM	
RCVD BY	

Application fee: \$80.00 (one acre or less); \$137.50 (greater than one acre) Conceptual Site Plan Required.
 In most cases, meetings will be scheduled on Thursdays of the following week, when applications are received prior to 5:00 p.m. on Wednesdays.

SUBJECT PROPERTY

ADDRESS OF PROPERTY (COMPLETE): 8277 Center Street S.W., Tumwater, WA 98501
 PROJECT NAME: Center Street Commerce PARCEL NUMBER(S): 12710100302

APPLICANT (please print neatly)

NAME OF APPLICANT: Brenda Fodge, Panattoni Development
 APPLICANT'S MAILING ADDRESS (COMPLETE): 1821 Dock Street, Suite 100, Tacoma, WA 98402
 APPLICANT'S TELEPHONE(S): 206-248-0284 APPLICANT'S E-MAIL: bfodge@panattoni.com

PROJECT REPRESENTATIVE

NAME OF PROJECT REPRESENTATIVE: Dan Balmelli / Betsy Dyer, Barghausen Engineers
 REPRESENTATIVE'S MAILING ADDRESS (COMPLETE): 18215-72nd Avenue South, Kent, WA 98032
 REPRESENTATIVE'S TELEPHONE(S): 425-251-6222 REPRESENTATIVE'S E-MAIL: dbalmelli@barghausen.com
bdyer@barghausen.com

PROPERTY OWNER

NAME OF PROPERTY OWNER: Port of Olympia
 OWNER'S MAILING ADDRESS (COMPLETE): 606 Columbia Street N.W., Olympia, WA 98501
 OWNER'S TELEPHONE(S): _____ OWNER'S E-MAIL: _____

PROJECT DESCRIPTION (attach additional sheets and documentation, as needed)

The proposed project consists of construction of warehouse building totaling approximately
200,000 sq. ft. with approximately 382,923 sq. ft open yard. (See attached project narrative for
additional information and options.)

I affirm that all answers, statements, and information submitted with this application are correct and accurate to the best of my knowledge. I also affirm that I am the owner of the subject site or am duly authorized by the owner to act with respect to this application. Further, I grant permission to any and all employees and representatives of the City of Tumwater and other governmental agencies to enter upon and inspect said property as reasonably necessary to process this application. I agree to pay all fees of the City that apply to this application.

Daniel K. Balmelli, Agent
 Signature of Applicant/Representative

March 15, 2024
 Date

PRELIMINARY COVER SHEET

FOR
CENTER STREET COMMERC
 PTN OF THE NE/4, THE SE/4, AND THE SW/4 OF THE SW 1/4 OF
 SEC. 10, TWP. 17 N., RGE. 2 W., WAL. CITY OF TUMWATER,
 THURSTON COUNTY, STATE OF WASHINGTON



1"=100'

Know what's below.
 Call before you dig
 48 hours prior to beginning work

LEGEND:

PROPOSED		EXISTING	
●	STORM CLEAN OUT	⊕	FOUND MONUMENT
■	CATCH BASIN	⊕	GAS VALVE
—	12" OR 15" STORM PIPE	⊕	CATCH BASIN
—	8" PVC STORM PIPE	⊕	STORM DRAIN MANHOLE
---	195' PROPOSED CONTOURS	⊕	SANITARY SEWER MANHOLE
▨	INFILTRATION GALLERY	⊕	SANITARY SEWER MANHOLE
■	HEAVY DUTY ASPHALT PAVEMENT	⊕	SANITARY SEWER MANHOLE
▨	LIGHT DUTY ASPHALT PAVEMENT	⊕	SANITARY SEWER MANHOLE
▨	CONCRETE PAVEMENT	⊕	SANITARY SEWER MANHOLE
⊕	WATER FITTINGS	⊕	SANITARY SEWER MANHOLE
⊕	FIRE HYDRANT	⊕	SANITARY SEWER MANHOLE
⊕	GATE VALVE	⊕	SANITARY SEWER MANHOLE
⊕	CONCRETE BLOCKING	⊕	SANITARY SEWER MANHOLE
⊕	BLOW-OFF	⊕	SANITARY SEWER MANHOLE
⊕	PROPOSED WATER	⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER CLEANOUT	⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER MANHOLE	⊕	SANITARY SEWER MANHOLE
⊕	8" SANITARY SEWER LINE	⊕	SANITARY SEWER MANHOLE
⊕	TREE TO REMAIN	⊕	SANITARY SEWER MANHOLE
⊕	STREET TREE GRATE	⊕	SANITARY SEWER MANHOLE
⊕	WATER VALVE	⊕	SANITARY SEWER MANHOLE
⊕	FIRE HYDRANT	⊕	SANITARY SEWER MANHOLE
⊕	SIGN	⊕	SANITARY SEWER MANHOLE
⊕	TREES AS NOTED	⊕	SANITARY SEWER MANHOLE
⊕	TELEPHONE PEDESTAL	⊕	SANITARY SEWER MANHOLE
⊕	TELEPHONE VAULT	⊕	SANITARY SEWER MANHOLE
⊕	LIGHT	⊕	SANITARY SEWER MANHOLE
⊕	POWER HANDHOLD	⊕	SANITARY SEWER MANHOLE
⊕	POWER POLE	⊕	SANITARY SEWER MANHOLE
⊕	LIGHT	⊕	SANITARY SEWER MANHOLE
⊕	PEDESTRIAN PEDESTAL	⊕	SANITARY SEWER MANHOLE
⊕	BIKE LAKE PAINT MARK	⊕	SANITARY SEWER MANHOLE
⊕	1' CONTOUR LINE	⊕	SANITARY SEWER MANHOLE
⊕	5' CONTOUR LINE	⊕	SANITARY SEWER MANHOLE
⊕	CHANILIZATION CENTERLINE	⊕	SANITARY SEWER MANHOLE
⊕	CHANILIZATION SLOP LINE	⊕	SANITARY SEWER MANHOLE
⊕	FOG LINE	⊕	SANITARY SEWER MANHOLE
⊕	CURB AND GUTTER	⊕	SANITARY SEWER MANHOLE
⊕	EDGE OF ASPHALT	⊕	SANITARY SEWER MANHOLE
⊕	CHAIN LINK FENCE	⊕	SANITARY SEWER MANHOLE
⊕	UNDERGROUND POWER	⊕	SANITARY SEWER MANHOLE
⊕	UNDERGROUND TELEPHONE	⊕	SANITARY SEWER MANHOLE
⊕	GAS LINE	⊕	SANITARY SEWER MANHOLE
⊕	STORM DRAIN	⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER	⊕	SANITARY SEWER MANHOLE
⊕	WATERLINE	⊕	SANITARY SEWER MANHOLE
⊕	CONCRETE	⊕	SANITARY SEWER MANHOLE

CALL BEFORE YOU DIG

811

HORIZONTAL CONTROL NOTE

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS, INC. REFLECTING ANY ISSUED PLAN REVISIONS WHICH VARY INCHES OR MORE FROM THE ORIGINAL. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNEMPLOYED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CAUTION: UTILITY CONFLICT NOTE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNEMPLOYED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. APPLICATIONS FOR PERMITS TO REMOVE MONUMENTS MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, OR BY CONTACTING THEIR OFFICE BY TELEPHONE AT (206) 902-1190.

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES
 PUBLIC LAND SURVEY OFFICE
 1111 WASHINGTON STREET S.E.
 P.O. BOX 47060
 OLYMPIA, WASHINGTON 98504-7060

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR. PURSUANT TO THESE REGULATIONS, THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

MONUMENT DEMOLITION NOTE

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR. PURSUANT TO THESE REGULATIONS, THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

UTILITIES

OWNER	CITY OF TUMWATER
OWNER	CITY OF TUMWATER
ELECTRICAL	PUGET SOUND ENERGY
TELEPHONE	GES
OD	PUGET SOUND ENERGY
CABLE TV	COMCAST
REFUSE COLLECTION	LEMAY, INC.
SCHOOL	TUMWATER SCHOOL DISTRICT

INDEX OF SHEETS:

- C1 of 4 PRELIMINARY COVER SHEET
- C2 of 4 PRELIMINARY GRADING AND STORM DRAINAGE PLAN (NORTH)
- C3 of 4 PRELIMINARY GRADING AND STORM DRAINAGE PLAN (SOUTH)
- C4 of 4 PRELIMINARY WATER AND SANITARY SEWER PLAN

DEVELOPER

PHANATTONI DEVELOPMENT COMPANY
 1821 DOCK ST, SUITE 100
 TACOMA, WA 98402

ENGINEER / SURVEYOR

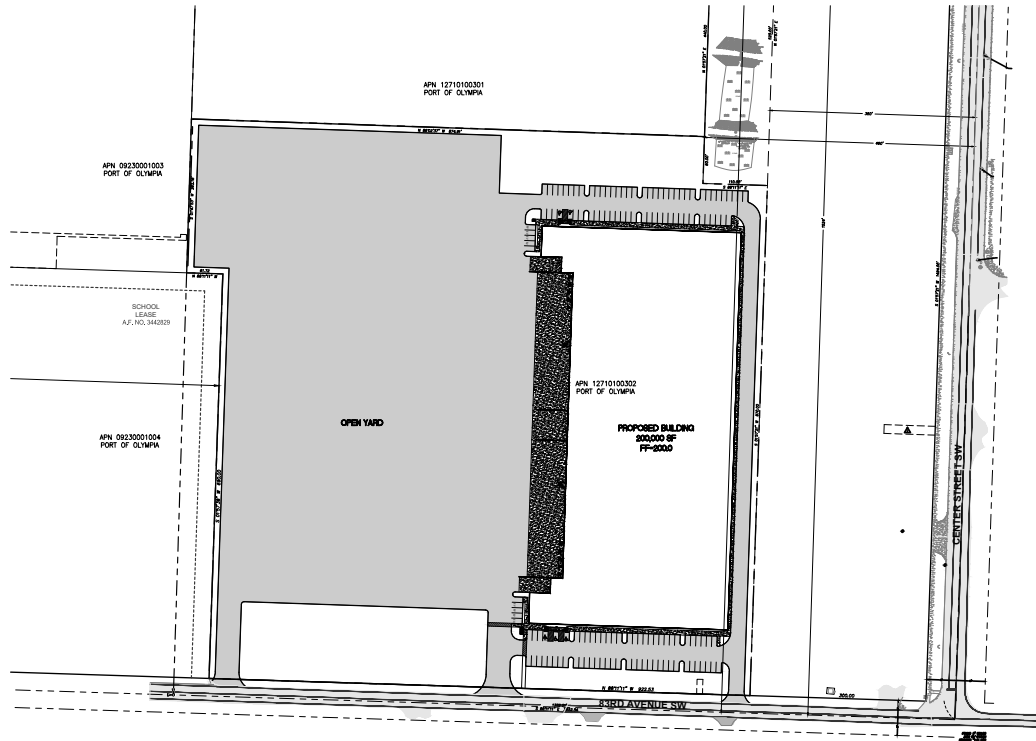
BARGHAUSEN CONSULTING ENGINEERS, INC.
 18215 72ND AVENUE SOUTH
 KENI, WA 98022
 (252) 251-8222
 (425) 251-8782 FAX
 CONTACT: DAN BARGHAUSEN

SURVEY INFORMATION:

HORIZONTAL DATA/MESH OF BEARINGS
 THURSTON COUNTY HIGH PRECISION SURVEY CONTROL NETWORK BASED ON T.C.M.P.S. CONTROL #280 & 280A009-15
 BEARING BETWEEN SAID POINTS EQUALS NORTH 75°59'59" EAST

VERTICAL DATA
 THURSTON COUNTY HIGH PRECISION SURVEY CONTROL NETWORK CONTROL POINT NO. 28-04005-15 WSPOT BRASS DICK IN CONC. DECK SP-3 & TUMWATER BLDG BRDG APPROX. AS BUILT CENTER OF CONCRETE BRIDGE, 3.7' SOUTH OF NORTH EDGE OF CONCRETE RAIL. ELEVATION =+215.24 (NAD83)

TAX PARCEL NUMBER / ADDRESS
 12710100302 / 8277 CENTER ST SW, TUMWATER, WA 98501



GEOTECHNICAL REPORT NOTES

- THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

SOILS REPORTS: TBD

PREPARED BY: TBD

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.

- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.

- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.

- THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

- THE CITY OF TUMWATER REQUIRES THAT THE FIRM PROVIDING THE SOILS REPORT (TERMA ASSOCIATES) CONDUCT THE SITE INSPECTIONS AS DEFINED IN THE REPORT. THE CITY ALSO REQUIRES THAT IN ADDITION TO THE SOILS ENGINEERING FIRM, A WABO REGISTERED SPECIAL INSPECTOR WITH EXPERIENCE WITH SOIL GRADING BE EMPLOYED, BY THE OWNER, TO CONDUCT COMPACTION TESTING FOR THE BUILDING PADS AND THE REQUIRED FIRE LINES. THE SPECIAL INSPECTOR SHALL NOT BE THE GEOTECHNICAL FIRM. THE CIVIL ENGINEER OF RECORD OR THE EMPLOYEE OF THE CONTRACTOR, ALL GRADING WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY TERMA ASSOCIATES. COMPACTION TESTING OF THE SOILS UNDER THE FIRE LINES AND THE BUILDING FOUNDATION SHALL BE CONDUCTED BY BARGHAUSEN CONSULTING ENGINEERS, INC. AND UTILITIES TRENCHES SHALL BE VERIFIED BY TERMA ASSOCIATES AND THE WABO SPECIAL INSPECTOR.

GENERAL SITE NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- PARTIAL INSPECTION OF SITE WORK WILL BE PERFORMED BY A REPRESENTATIVE OF THE CITY OF TUMWATER, THE PROJECT ENGINEER OR THEIR REPRESENTATIVE SHALL VERIFY THAT IMPROVEMENTS ARE CONSTRUCTED PER PLAN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLS ALL CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETINGS. CONTRACTOR SHALL PROVIDE ONE WEEK MIN. ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE, ORDER OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY LINES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKE CONTROL SHALL BE PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC. FOR THE ADOPTION OF THE STANDARD CONSTRUCTION WORK. A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIED RELEASE FROM THE CONTRACTOR. CONSTRUCTION DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS THE BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.



Scale:
 Horizontal 1"=100'
 Vertical
 Designed: JLL
 Drawn: JLL
 Checked: JLL
 Approved: JLL
 Date: 03/15/2024

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Keni, WA 98022
 425-251-8222
 barghausen.com



Job Number: 23201
 Sheet: 1 of 3
 Date: 03/15/2024

The: PRELIMINARY COVER SHEET
 FOR: CENTER STREET COMMERC

PHANATTONI DEVELOPMENT COMPANY
 1821 DOCK ST, SUITE 100
 TACOMA, WA 98402
 CONTACT: -
 PHONE: -