

City Hall
555 Israel Road SW
Tumwater, WA 98501-6515
Phone: 360-754-5855
Fax: 360-754-4138

NOTICE OF APPLICATION
TCP Lot 1 Flex Select
Permit No. TUM-22-1755
April 19, 2023

Proposal: The applicant is proposing to construct a 29,200 square foot mixed use building with up to 12 tenants. Construction will include associated sidewalks, parking lots, utilities and lighting.

Applicant: Kaufman Construction and Development, Riley Wall, 7908 Sweet Iron Court SE, Tumwater, WA 98501.

Representative: Chloe McIntyre, Hatton Godat Pantier, 3910 Martin Way E., Suite B, Olympia, WA 98506

Location: 8913 Select Court SE, Tumwater, WA 98512 in Section 14, T17, R2W. Parcel # 80630000100.

Complete Application: Application submitted: March 24, 2023. Application deemed complete: April 13, 2023.

Project Permit/Approvals: The following permits and approvals may be required: Site Plan Approval, Design Review Approval, Landscape Plan Approval, On-site Lighting Approval, Building Permit, Site Development/Grading Permit, Sign Permits and NPDES Permit.

Environmental Documents Relating to the Project: In accordance with WAC 197-11 and Tumwater Municipal Code (TMC) 16.04 (SEPA rules), a Mitigated Determination of Non-Significance, issued August 3, 2006 identified appropriate mitigation measures for this development, and are incorporated by reference.

Determination of Consistency: No determination of consistency with City of Tumwater or State of Washington plans, regulations, or standards has been made. At a minimum, this project will be subject to the following plans and regulations: Tumwater Comprehensive Plan, Tumwater Zoning Code (TMC Title 18), Tumwater Environmental Policy Ordinance (TMC 16.04), the City of Tumwater Drainage Design and Erosion Control Manual, and the International Building Code.

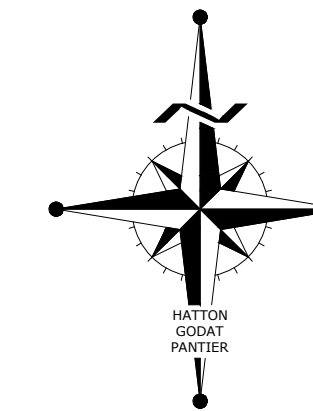
Public Hearing: A public hearing is not required for this project.

Public Comment Period: The 14 day comment period ends at 5:00 p.m. on May 3, 2023. Written comments may be submitted to City of Tumwater Community Development Department, Attn: Alex Baruch, 555 Israel Road SW, Tumwater, WA 98501, or email abaruch@ci.tumwater.wa.us.

If you have any questions or would like additional information, please contact Alex Baruch, Associate Planner, at 360-754-4180.

TUMWATER COMMERCE PLACE - LOT 1 - FORMAL SITE PLAN

8913 SELECT CT SE, TUMWATER, WA 98512



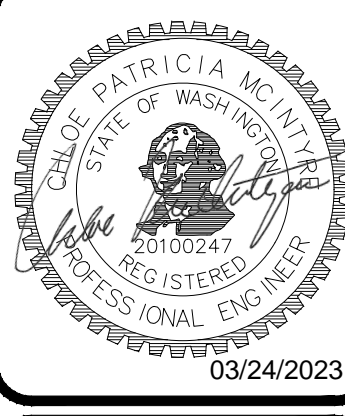
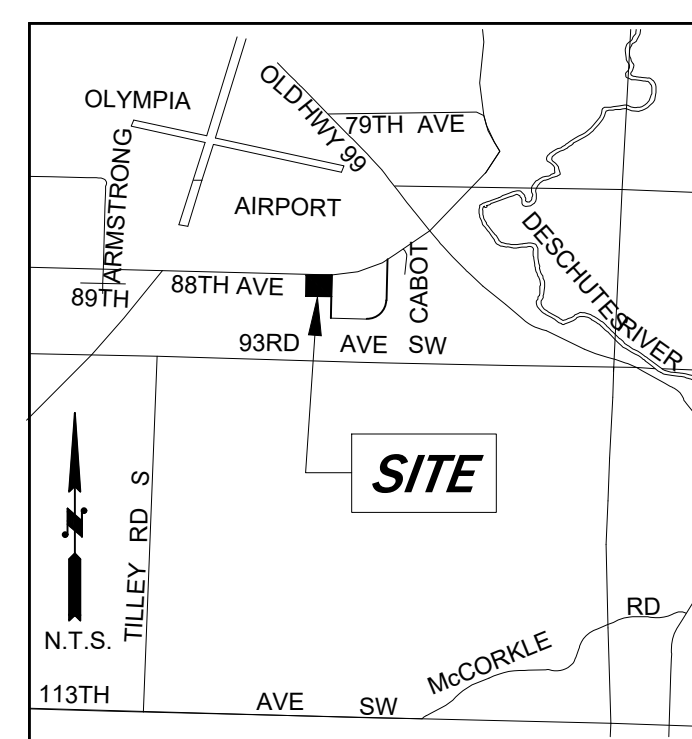
CITY OF TUMWATER

VERTICAL DATUM - NGVD 29 THURSTON COUNTY HIGH PRECISION CONTROL NETWORK CONTROL POINT NO. 1340, SURFACE MONUMENT 2" BRASS DISC STAMPED WITH PUNCH MARK AND 28073, A THE CENTER OF CUL-DE-SAC, SELECT COURT, SE. NGVD 29 ELEVATION=210.98	MERIDIAN HORIZONTAL DATUM PLAT OF TUMWATER COMMERCE PLACE RECORDED UNDER AUDITOR'S FILE NUMBER 4159577.
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SCALE: 1" = 20'

DESIGNED BY: CPM
DRAWN BY: BSN
CHECKED BY: CPM
DATE: MARCH 2023
SCALE: 1" = 20'
V N/A

PROJECT PROPONENT
KAUFMAN CONSTRUCTION & DEVELOPMENT
7908 SWEET IRON CT SE, TUMWATER, WA 98501
CONTACT: RILEY WALL
(360) 491-5230



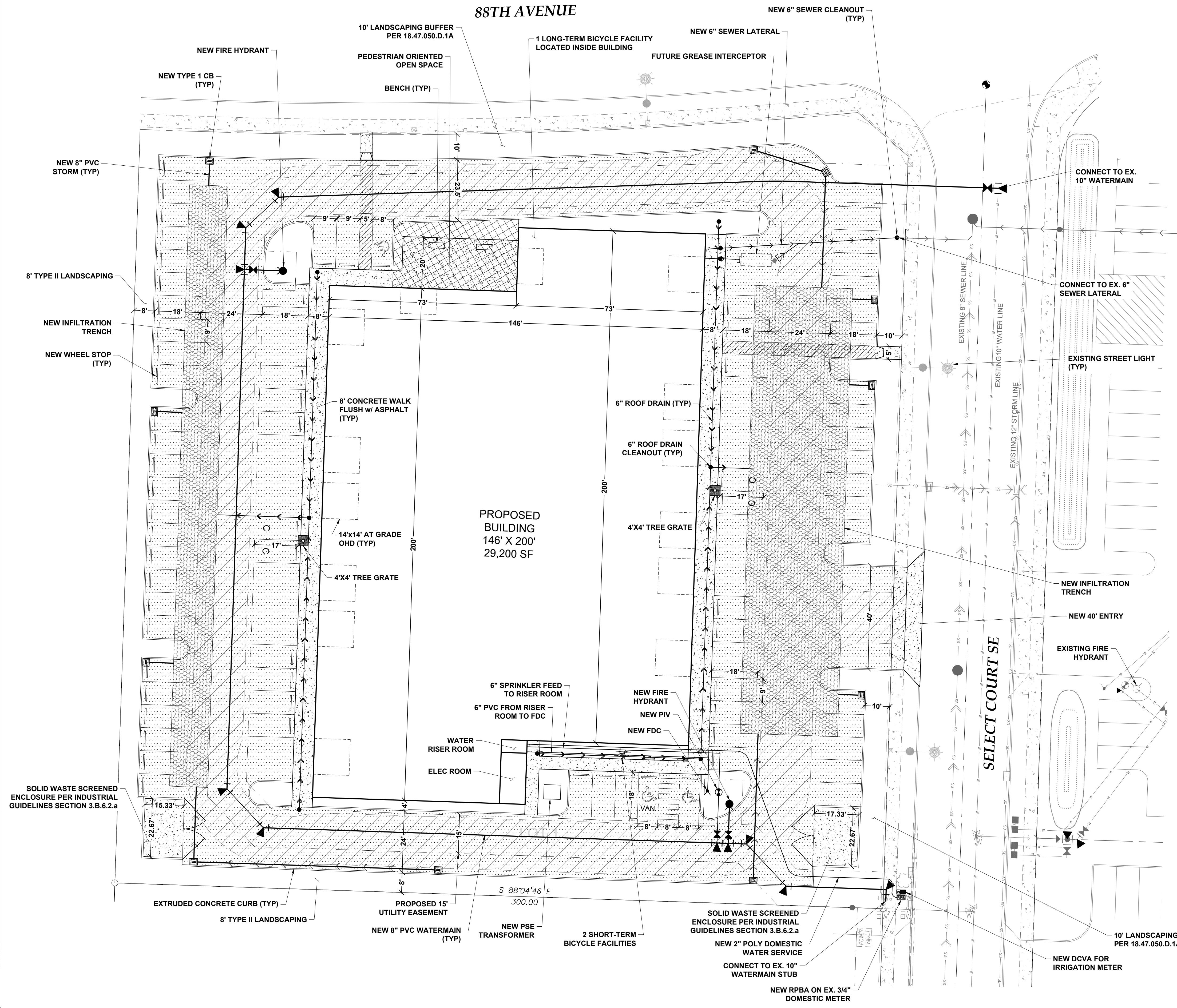
HATTON GODAT PANTIER AND SURVEYORS
ENGINEERS
3910 MARTIN WAY E SUITE B
OLYMPIA, WA 98506
TEL: 360.943.1599, FAX: 360.357.6299
hattonpantier.com

LEGEND

[Symbol]	EX. HYDRANT
[Symbol]	EX. WATER METER
[Symbol]	EX. WATER VALVE
[Symbol]	EX. FDC
[Symbol]	EX. HIGH MAST STREET LIGHT
[Symbol]	EX. CATCH BASIN
[Symbol]	EX. SEWER CLEANOUT
[Symbol]	EX. SEWER MANHOLE
[Symbol]	EX. GRAVITY SEWER
[Symbol]	EX. STORM/ROOF LINE
[Symbol]	EX. WATER LINE
[Symbol]	EX. EDGE OF PAVEMENT
[Symbol]	CENTERLINE
[Symbol]	EX. PAVEMENT
[Symbol]	EX. SIDEWALK
[Symbol]	NEW HYDRANT ASSEMBLY
[Symbol]	NEW WATER VALVE
[Symbol]	NEW ROOF DRAIN CLEANOUT
[Symbol]	NEW TYPE 1 CATCH BASIN
[Symbol]	NEW SEWER LATERAL
[Symbol]	NEW STORM DRAIN LINE
[Symbol]	NEW ROOF DRAIN LINE
[Symbol]	NEW WATERMAIN
[Symbol]	NEW WATER SERVICE
[Symbol]	RIGHT OF WAY
[Symbol]	UTILITY EASEMENT
[Symbol]	PROPERTY / LOT LINE
[Symbol]	NEW PAVEMENT
[Symbol]	NEW SIDEWALK
[Symbol]	NEW INFILTRATION TRENCH

SITE DATA

LOT ADDRESS:	8913 SELECT COURT SE (LOT 1 OF TUMWATER COMMERCE PLACE)
APPLICANT:	RILEY WALL (KAUFMAN CONSTRUCTION & DEVELOPMENT) 7908 SWEET IRON CT SE, TUMWATER, WA 98501 (360) 491-5230
REPRESENTATIVE:	RILEY WALL (KAUFMAN CONSTRUCTION & DEVELOPMENT) 7908 SWEET IRON CT SE, TUMWATER, WA 98501 (360) 491-5230
PARCEL NUMBER:	80630000100
SECTION:	S14172W
LEGAL DESCRIPTION:	SECTION 14 TOWNSHIP 17 RANGE 2W QUARTER SE & NE PLAT TUMWATER COMMERCE PLACE LT 1 DOCUMENT 4159577
LOT SIZE:	89,807 SF (2.06 ACRES)
PROPOSED USE/OCCUPANCY:	UNKNOWN
SETBACKS:	FRONT=20', SIDE=10', REAR=10'
BUILDING SIZE:	29,200 SF
FLOOR AREA RATIO:	29,200 / 89,807 = 32.51%
BUILDING HEIGHT:	26'-1"
IBC CONSTRUCTION TYPE:	IIIB, FULLY SPRINKLERED
PARKING REQUIREMENTS:	USE: MIXED USE PER TMC FIGURE 18.50.070(A) WAREHOUSE: 21,150 SF - 18 STALLS + 0.5 PER EACH ADDITIONAL 2,000 SF = 19 STALLS OFFICE: 4,400 SF - 3.3 STALLS PER 1,000 SF = 15 STALLS RESTAURANT: 3,650 SF - 10 STALLS PER 1,000 SF = 37 STALLS TOTAL PARKING REQUIRED = 71 STALLS PARKING PROVIDED = 74 STALLS (10% INCREASE ALLOWED PER TMC 18.50.075.A) 67 REGULAR STALLS 4 COMPACT STALLS 3 ADA STALLS
BICYCLE FACILITIES:	2 SHORT-TERM 1 LONG-TERM
IMPERVIOUS AREA:	75,413 SF (75,413/89,807) = 83% (85% MAXIMUM)
ZONING:	LI (LIGHT INDUSTRIAL)
WATER PROVIDER:	CITY OF TUMWATER
SEWER PROVIDER:	CITY OF TUMWATER



DATE: _____
REVISIONS: _____

TUMWATER COMMERCE PLACE - LOT 1
8913 SELECT CT SE, TUMWATER, WA 98512

FORMAL SITE PLAN

A PORTION OF SECTION 14, TOWNSHIP 17 NORTH, RANGE 2 WEST, W.M.

AGENCY NO. TUM-22-1755
SHEET: 1 OF 1
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INDEX: 22-065 formal-sp
JOB: 22-065