

CITY OF TUMWATER

Design Guidelines for
Capitol Boulevard Community
Zone

Ordinance O2013-025

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A. Administrative

A.1 Purpose

The general purpose of these Capitol Boulevard Community Design Guidelines (Guidelines) is to implement the City's Comprehensive Plan vision and the Capitol Boulevard Community Sub-Area Plan.

More specifically, the purposes of these Guidelines are to ensure attractive, functional development, promote social and economic vitality, and foster safety, comfort, investment, and interest in the Capitol Boulevard Community Corridor (CBC) Zone.

These guidelines complement provisions of Chapter 18.21 of the Tumwater Municipal Code (TMC)

A.2 Administrative Procedures

The City of Tumwater Community Development Director or designee will administer these Guidelines, lead the review process, and ensure that new development meets their intent, as provided in TMC 18.21. The review of a development project application with respect to the Guidelines will be the same as, and concurrent with, project review with respect to the zoning provisions.

A.3 Applicability

- a. The Guidelines apply to the following categories of development within the CBC Zone:
 1. All construction of new buildings and structures will require conformance with the design guidelines for structures, sites, and frontages;
 2. Additions to existing buildings that increase gross floor area by 1,000 sq. ft. require conformance for the new portion of the structure and the area of the site that must be modified as a result of the expansion (this could include walkways, driveways, parking, signage, etc); and
 3. Exterior modifications such as façade changes, windows, awnings, signage, etc, shall comply with the design guidelines.

b. Exemptions

The following projects are exempted from the provisions of these Design Guidelines:

1. Construction underground, which will not leave any, permanent structure that sticks up above the surface after completion: utility boxes, pipes, venting and poles shall be considered " permanent structures;" Sidewalks and right-of ways shall be restored to the original condition or like new condition after the underground construction is completed;
2. Repair and maintenance work on buildings, landscaping (including relatively minor replacement of plants other than trees), or grounds (including parking lots), which

does not significantly alter the appearance or function of the building, landscaping, or grounds;

3. Interior remodeling work;

4. Temporary uses and structures as defined by the TMC;

5. Routine siding, roof maintenance and repair. Overall roof or siding reconstruction is subject to these Design Guidelines;

6. Replacement of existing utility poles that are owned by the utility provider in cases where the pole is due for either routine or emergency replacement.

B. Site Planning

B.1 Relationship to Street Front

INTENT:

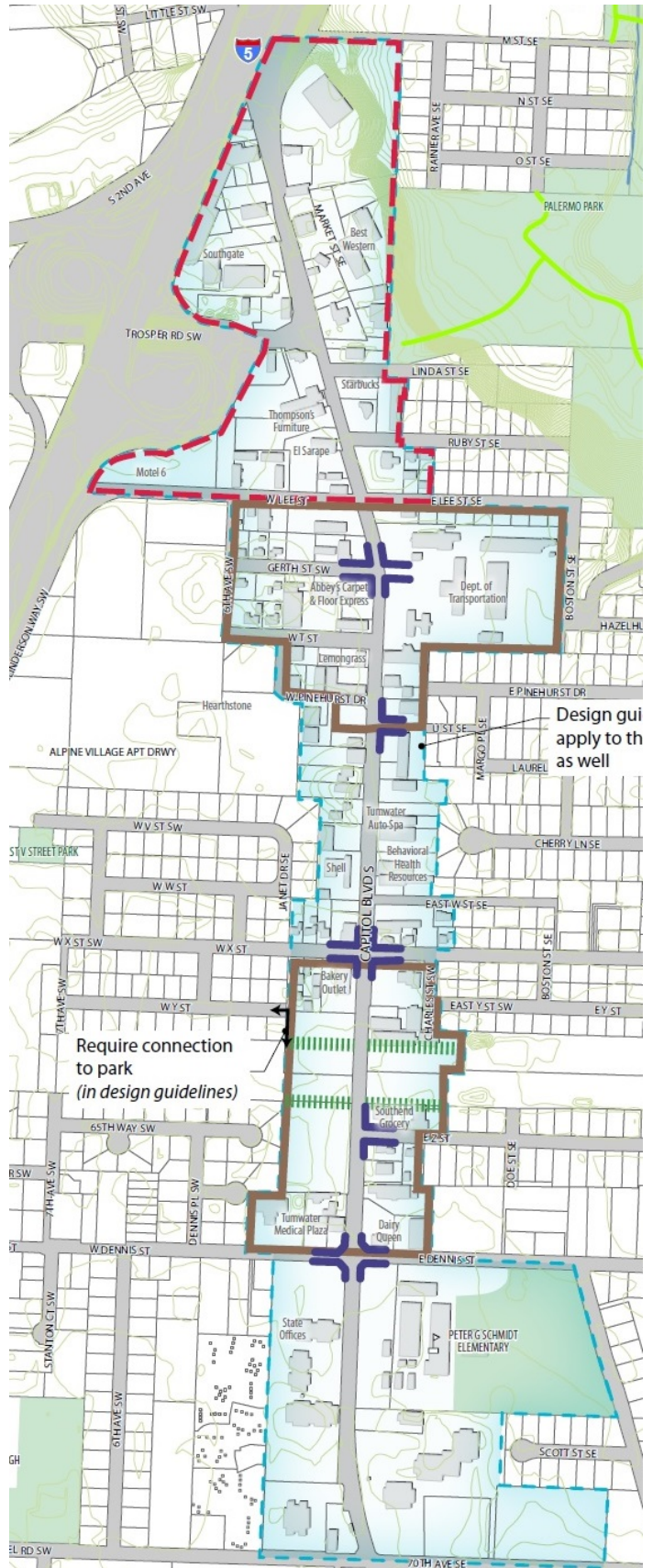
- ◆ To enhance appearance of properties and adjoining streetscapes on Capitol Boulevard.
- ◆ To establish a visual identity for the Capitol Boulevard Community area.
- ◆ To create an active, safe pedestrian environment on both Capitol Boulevard and side streets.
- ◆ To create attractive streetscapes on side streets and internal streets.
- ◆ To enhance the visibility and attractiveness of properties as viewed from the street.

DEFINITIONS

Primary Pedestrian Oriented Cross Streets: Gerth Street SW and SE, "U" Street SE, "X" Street SE and SW, and "Z" Street SE.

Secondary Pedestrian Oriented Cross Streets: Lee Street SE and SW, "T" Street SE and SW, and Dennis Street SE and SW.

See map in TMC 18.21.070 (excerpt shown here)



GUIDELINES:

B.1.1 Properties Fronting on Capitol Boulevard

All development in CBC zone fronting Capitol Boulevard must adhere to the following standards:

- a. Building entries must have a direct pathway to the public sidewalk. Building entries should face a street whenever feasible. For properties located at the intersection of a Primary or Secondary Pedestrian Oriented Cross Street, the entry shall be within 10 feet of a sidewalk unless it is located directly on a “pedestrian oriented open space” (see Section C.2.).
- b. Parking areas fronting Capitol Boulevard must be screened according to the options provided in Section D.2.
- c. No untreated blank walls or service areas shall be located along Capitol Boulevard. (See Section E.8.)
- d. If the building is located within 30 feet of the Capitol Boulevard right-of-way, then the area between the sidewalk and the building must feature pedestrian-oriented open space (See section C.2) or landscaping. This area may be used for outdoor display or seating, but it may not be used for storage when the building is closed.
- e. Non-residential buildings and non-residential portions of buildings located within 15 feet of the Capitol Boulevard right-of-way must feature transparency (window or glass area) on at least 50 percent of the ground floor between 2 feet and 8 feet above the grade on the façade facing Capitol Boulevard (see Figure B.1.1-1).

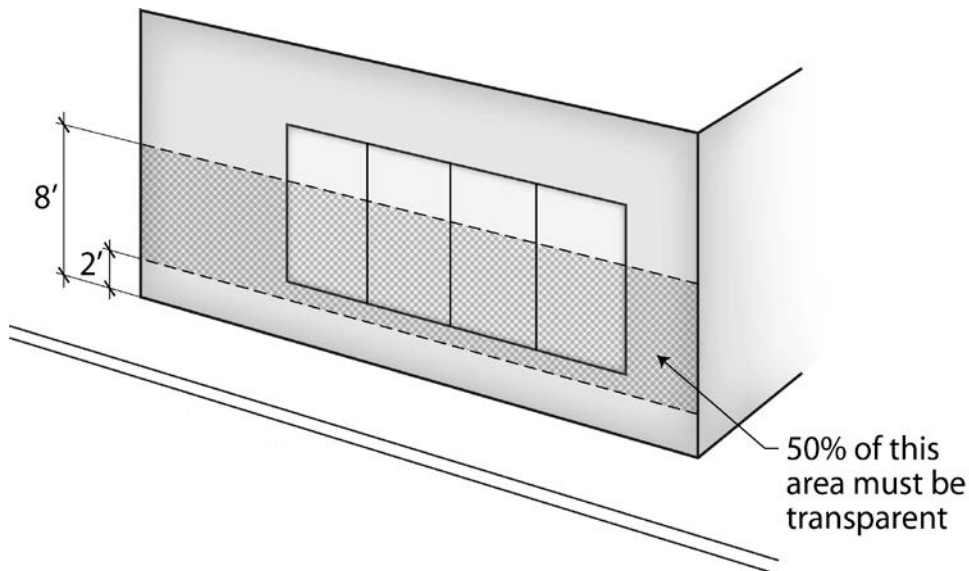


Figure B.1.1-1. Transparency requirement for facades facing Capitol Boulevard

- f. Portions of non-residential buildings facing Capitol Boulevard and within 50 feet of intersections of Capitol Boulevard with a Primary Pedestrian Oriented Street shall feature “pedestrian-oriented facades” as described in Section E.4.
- g. Parking areas are not allowed at property corners where Capitol Boulevard intersects a Primary **or** Secondary Pedestrian Oriented Cross Street. (That is, buildings rather than parking areas must be located facing the intersection. This will improve pedestrian access and also facilitate access to the parking areas because the driveways will be further away from turning movements at intersections.) The Director may modify or waive this requirement if the development includes internal circulation and a significant pedestrian oriented space around which pedestrian oriented uses and building facades are focused.



Figure B.1.1-2 Exception illustrating relaxation of the corner building requirement in B.1.1.f for an active public gathering space

Building entries must have a direct access to the public sidewalk. such entries should face the street.

Buildings located within 15' of the Capitol Blvd. ROW must feature transparency (window or glass area) on at least 50 % of the ground floor facade between 2' and 8' above the grade. If a building is located within 30' of the Capitol Blvd. ROW, then the area between the sidewalk and the building must feature pedestrian-oriented space or landscaping.

Do not locate untreated blank walls facing Capitol Blvd.

No large item display areas are permitted within 100' of a primary or secondary pedestrian oriented cross street.

No chain link fences or fences taller than 3' are allowed within 15' of the front property line.

Minimize driveway access to Capitol Blvd to increase safety and reduce congestion. Where possible locate main drives off of side streets.

Screen parking areas adjacent to the street.

Set back buildings and other elements at the ground 12' from the face of the curb.

Locate no parking lot facing the street at intersections of primary and secondary pedestrian oriented cross streets.

Buildings must feature pedestrian oriented facades within 50' of a primary pedestrian oriented cross street ROW.

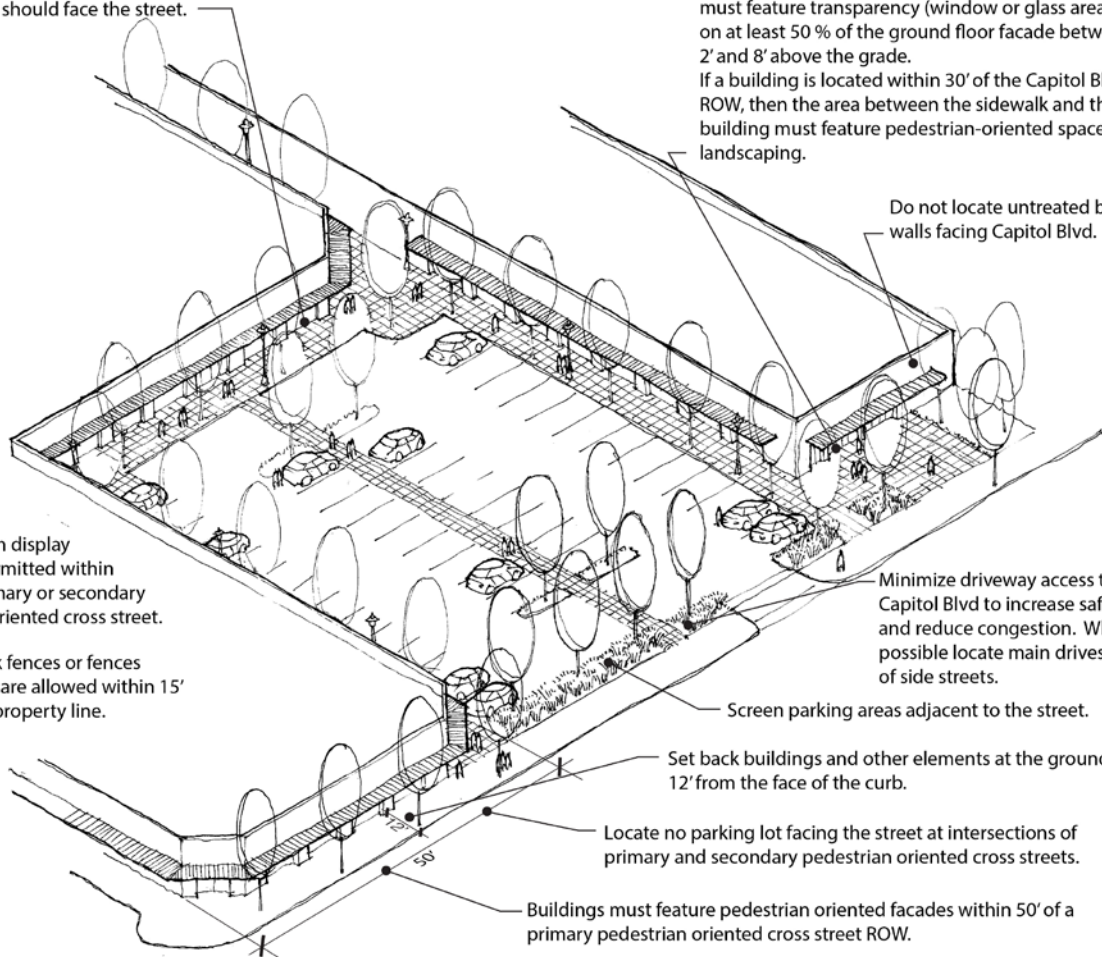


Figure B.1.1-1. Capitol Boulevard street orientation requirements.

- h. At-grade structured parking (parking garages) shall not face onto Capitol Boulevard unless they are 1) screened with at least a 10 feet wide Type 1 landscaping buffer or Outdoor Storage Buffer See TMC 18.47.050 A and G ; or 2) have active non-parking uses such as pedestrian plazas along the façade facing Capitol Boulevard. The Director may allow variations in these requirements if measures such as public art, public plazas with seating, etc, are used to screen and create interest when it is not feasible to meet the transparency/buffering requirements
- i. All buildings and other site features must be set back from the curb line to allow at least a 12' sidewalk/landscape area along Capitol Boulevard.
- j. All development that includes a new building or an addition of more than 1,000 square feet in the CBC Zone must provide a sidewalk at least 6 feet wide and a planting strip (or additional sidewalk width with tree wells) at least 6' wide. The planting strip must include at least one street tree for every 30 feet of frontage and ground cover or shrubs conforming to standards in Section C and TMC 18.47.

- k. No chain link fences taller than 3 feet above grade are allowed within 15 feet of the Capitol Boulevard ROW.
- l. No large item display areas are permitted within 100 feet of a Primary or Secondary Pedestrian Oriented Cross Street.

B.1.2 Properties Fronting on Side Streets

All development for properties in the CBC Zone and fronting a Primary Pedestrian Oriented Cross Street shall meet the following conditions:

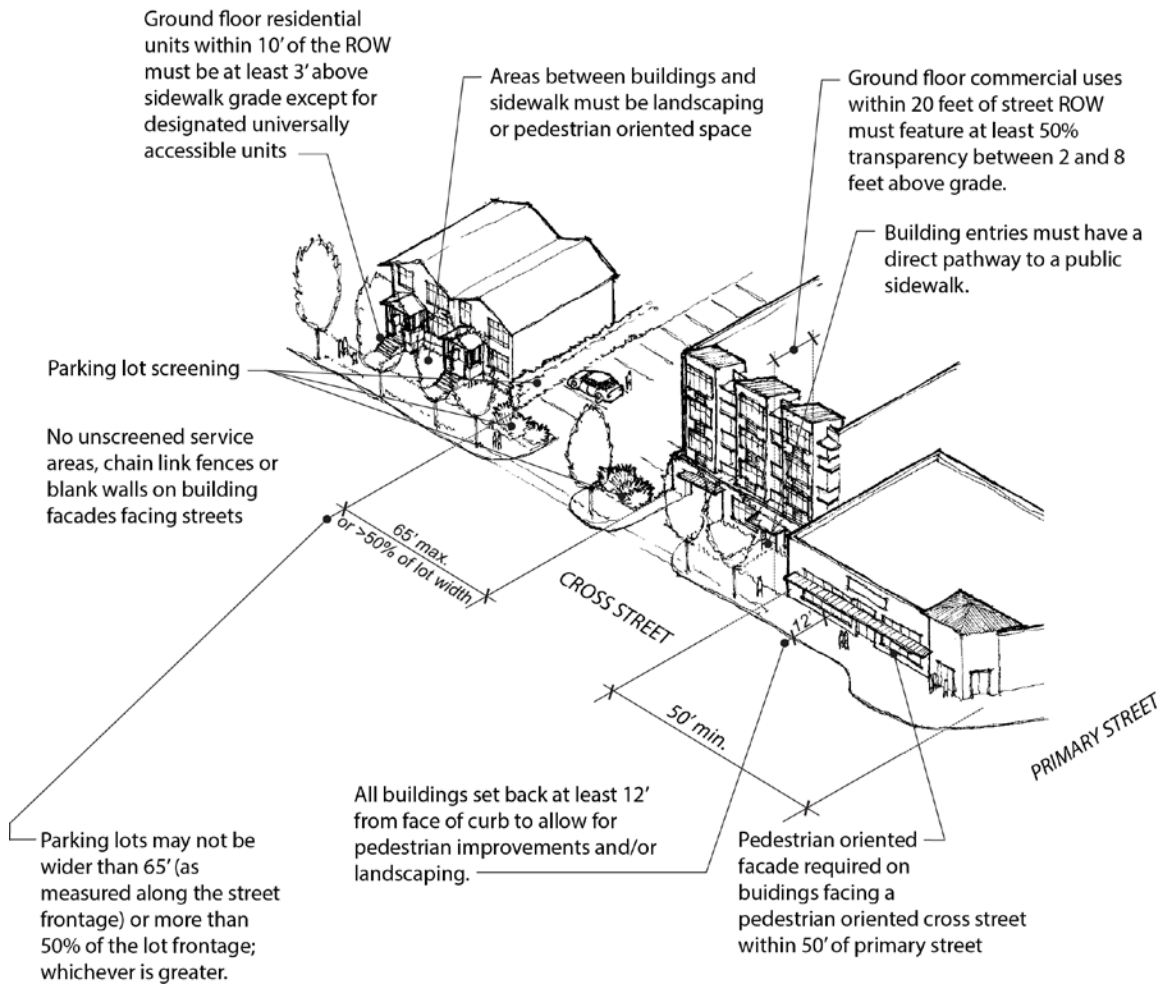


Figure B.1.2-1. Cross street configuration requirements (See individual provisions for applicability to Primary and Secondary Pedestrian Oriented Cross Streets.)

- a. Parking areas must not occupy more than 50 percent of the property facing a cross street front. For parcels with less than 130 feet of side street frontage, the parking may occupy up to 65 linear feet of street front.

No off street parking areas are allowed along a Primary Pedestrian Oriented Cross Street within 50 feet of the Capitol Boulevard right-of-way. See also Section B.7, Street Corners.

- b. Unscreened service areas, chain link fences and untreated blank walls shall not front a Primary or Secondary Pedestrian Oriented Cross Street. (See Section E.8.) Such elements must be screened with at least a 5 feet wide planting strip of Type1 landscape buffer or Outdoor Storage buffers (See TMC 18.47.050 A, and G) landscape planting sufficient to effectively screen the element within 3 years.
- c. Portions of buildings facing a Primary Pedestrian Oriented Street and within 50 feet of the Capitol Boulevard right-of-way must feature pedestrian-oriented facades facing the side street. (See Section E.4.)
- d. Buildings with ground floor residential units within 10 feet of the right-of-way must have a ground floor elevation at least 3 feet above sidewalk grade - except for designated universally accessible units. Buildings with ground floor residential units facing the street must feature a window area of at least 10 square feet for every 30 linear feet of frontage or landscaping with trees, shrubs, and groundcovers, as approved by the Director.



Figure B.1.2-2 raising the ground floor of residential units a few feet above grade adds privacy because pedestrian walking on the adjacent sidewalk cannot look directly into the living spaces. A small porch or stoop provides an intimate transition between public and private realms.

- e. Parking areas must be screened from pedestrian areas, sidewalks, walkways and the street right-of way in accordance with TMC 18.47.

- f. Non-residential buildings located within 15 feet of the side street right-of-way must feature transparency (window or glass area) on at least 50 percent of the ground floor façade facing the street between 2 feet and 8 feet above grade. The area between the street and building must be landscaped.
- g. Building entries must have a direct pathway to the public sidewalk. Such entries must face the street.
- h. Areas between the street right-of-way and the front building façade must be landscaped or a pedestrian oriented space as described in Section C.2.1.
- i. All buildings facing a Primary or Secondary Pedestrian Oriented Street must be set back from the curb line at least 12 feet to allow for a 6 foot wide sidewalk with a 6 foot wide planter or a 12 foot wide sidewalk with tree wells.

All development that includes a new building or an addition of more than 1,000 square feet in the CBC Zone fronting on a Primary or Secondary Pedestrian Oriented Street must provide a sidewalk at least 6 foot wide sidewalk with a 6 foot wide planter or a 12 foot wide sidewalk with tree wells. The planting strip must include at least one street tree for every 30 feet of frontage and ground cover or shrubs conforming to standards in Section C.3.2. The Director will identify the curb line if there is no existing curb or if there is a planned street improvement.

Land for sidewalks is to be dedicated in accordance with City requirements. See also TMC Section 18.21 for other setback requirements

B.2 General Pedestrian Circulation

INTENT:

- ◆ To improve the pedestrian environment by making it easier, safer, and more comfortable to walk between businesses and residences, on street sidewalks, to transit stops, and through parking areas.
- ◆ To provide pedestrian facilities such as sidewalks, crosswalks, and bus shelters connecting to all modes of transportation.
- ◆ To provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and streets.
- ◆ To provide access to transit and services.

GUIDELINES:

B.2.1 Pedestrian Circulation

Provide safe convenient pedestrian circulation for all users. Specifically:

- a. Where practical, provide pedestrian access onto the site from all streets on which the use is located. If appropriate, adequate space should be provided for bus stops and their associated amenities such as benches and shelters.



- b. Buildings must include universally accessible, convenient, clearly identified pedestrian entry.

Figure B.2.1-1. Provide pedestrian access to the site from the street.

- c. For developments with multiple buildings, provide for pedestrian circulation between all buildings.
- d. New developments must provide direct pedestrian access to adjacent properties if the Director determines it is feasible and desirable. The intent of this requirement is to allow for pedestrian access between adjacent developments within the Capitol Boulevard Community Zone District and in some instances to allow for better pedestrian access to the corridor by neighborhood residents. Direct pedestrian access to an abutting single family home in a neighboring single family residential zone is not required.
- e. New developments shall provide for the opportunity for future pedestrian connections to adjacent properties through the use of pathway stub-outs, building configuration, and/or parking area layout.
- f. Shared pedestrian access, if provided in close proximity to the street, is allowed. One scenario where this would likely be used is where two buildings are built abutting each other and their entrances are directly next to each other at the lot line. The pedestrian access between the two could be a shared inset building entrance area that both businesses can use while still having individual doors to each structure. See Section B.4.1.c.

See also Chapter C, Pedestrian Access, Amenities, and Open Space Design and B.4 below.

B.3 Vehicular Access and Circulation

INTENT:

- ◆ To provide better connectivity between sites for more efficient circulation and to ease congestion on Capitol Boulevard
- ◆ To minimize cut-through traffic in residential neighborhoods.
- ◆ To provide safe and convenient vehicular access routes through large areas by connecting public and/or private roadways and access-ways.
- ◆ To enhance the visual character of interior access roads.
- ◆ To minimize conflicts with pedestrian circulation and activity.
- ◆ To enhance the safety and function of public streets.
- ◆ To provide access management on Capitol Boulevard; i.e., to reduce turning movements that increase congestion and reduce safety.
- ◆ To support transit services.

GUIDELINES:

See also **Chapter D, Vehicular Access and Parking Design.**

B.3.1 Inter- site Connectivity

Provide through vehicle access connections from one property to another between properties that front along Capitol Boulevard. Such access may be in the form of a dedicated or private alley, connected or shared parking lots, shared driveways, or similar features. The intent of this guideline is to provide greater connectivity to facilitate future access to all properties and relieve congestion caused by multiple driveways on Capitol Boulevard. The Director may require that such through access be provided by rearranging site features, provided that such measures do not preclude the intended development. (See Figure B.3.1-1)

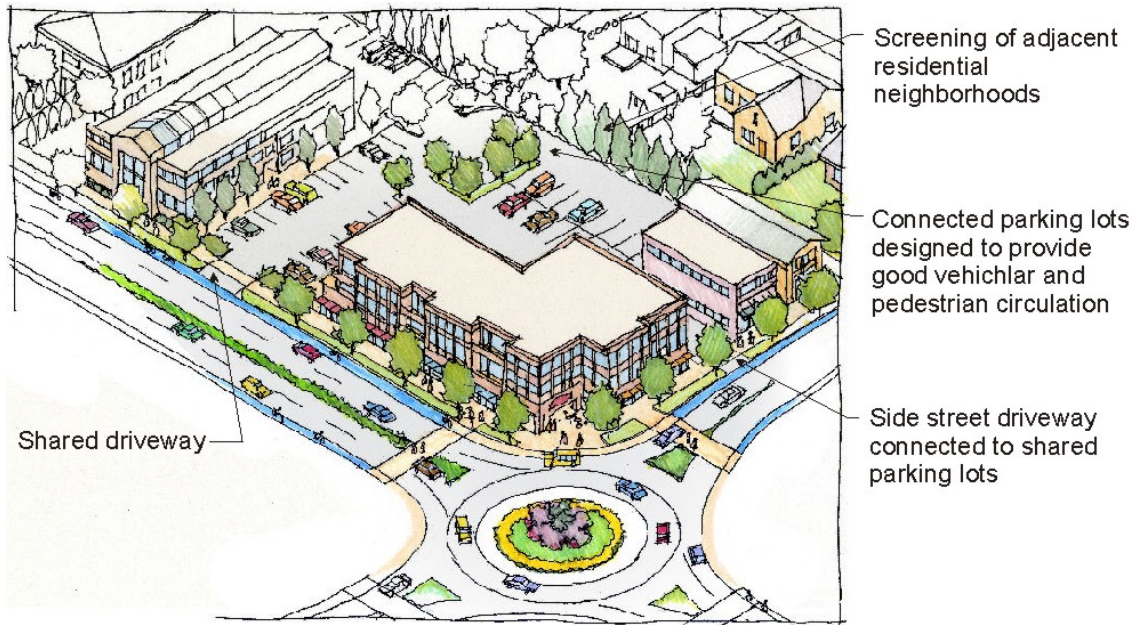


Figure B.3.1-1 Some inter-site connectivity measures

B.3.2 Internal roadways and Vehicular Circulation

- a. Provide street trees and sidewalks on all internal access streets to increase their function and appearance. Sidewalks must be at least 8 feet wide with planting strips at least 4 feet wide and 1 street tree for every 30 feet of street frontage. Sidewalks are required on both sides of the street unless alternative continuous pedestrian access is available for all buildings. If on-street parking is provided, then the planting strip may be in the form of tree pits within the pavement but there must be at least 60 square feet of planting area or permeable pavement per tree to support root functions. The Director may require wider sidewalks in situations with high pedestrian volumes, two way traffic, or fire access is necessary.

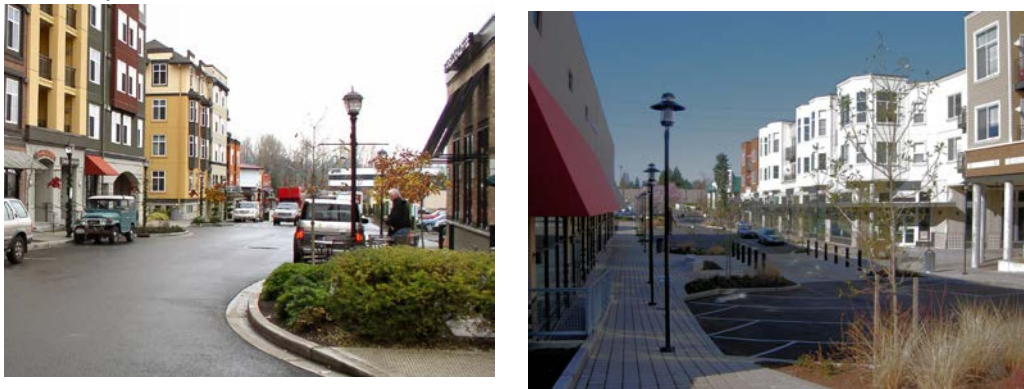


Figure B.3.2-1. Two internal road examples. Juanita Village's internal roadways (left) are one model for

circulation on large sites. Note the on-street parking, crosswalks, wide sidewalks, street trees, signage, and pedestrian lighting. The example on the right features a narrower road section with pedestrian amenities and crossing.

- b. Primary vehicular access to corner lots shall be located on side streets (Not Capitol Boulevard) and sufficiently distant from the intersection to minimize traffic conflicts.
- c. The Director may require modification of proposed vehicle access points and internal circulation in order to minimize the potential for cut-through traffic in residential neighborhoods. Specifically, access connecting nearby roads may be required.



Figure B.3.2-2 pedestrian oriented access roads are usually needed to provide good circulation to and through large sites.

B.3.3 Drive-through facilities

Where allowed, drive through facilities (e.g.: drive-up windows) must comply with the standards in TMC 18.43.075.

B.4 Lots with Multiple Buildings or with a Total Area Greater than 2 Acres

INTENT:

- ◆ To create integrated development plans and phasing strategies.
- ◆ To reduce negative impacts to adjacent properties.

- ◆ To enhance pedestrian and vehicular circulation.
- ◆ To encourage transit use.
- ◆ To provide usable open space.
- ◆ To create focal points for pedestrian activity for developments.
- ◆ To enhance the visual character of the community.
- ◆ To create unique attractions for the Capitol Boulevard corridor.

GUIDELINES:

B.4.1 Unifying Site Planning Concept

The following applies to properties that:

- Have multiple buildings or a total site area greater than 2 acres, and are also
 - Located either between “M” Street on the north and “U” Street on the south or between “X” Street on the north and Dennis Street on the south
- a. Development at sites with two or more buildings or properties larger than 2 acres in area shall demonstrate that the project is based on a unifying site planning concept that meets the following criteria:
- (1) Incorporates open space and landscaping as a unifying element.
 - (2) Provides pedestrian paths or walkways connecting all businesses and the entries of multiple buildings.
 - (3) Provides for safe, efficient internal vehicular circulation that does not isolate the buildings.
 - (4) Takes advantage of special on-site or nearby features.



Figure B.4.1-1 An example of a site plan illustrating requirements of Guideline B.4.1.

- b. In order to achieve better pedestrian connections and a pleasant atmosphere, building entrances must not be focused around a central parking area but be connected by a pathway system and/or open space(s).
- c. A development may provide a major public entry serving several shops rather than providing a separate storefront entry for all shops. If the development employs the combined-entry option, then it must be at least 15 feet wide, with special entry features such as weather protection and pedestrian lighting..

See also Guideline B.8.1 Non-Residential Open Space requirements.

B.5 Service Areas and Mechanical Equipment

INTENT:

- ◆ To minimize adverse visual, olfactory, or auditory impacts of mechanical equipment and service areas at ground and roof levels.
- ◆ To provide adequate, durable, well-maintained, and accessible service and equipment areas.

- ◆ To Protect residential uses and adjacent properties from impacts due to location and utilization of service areas.

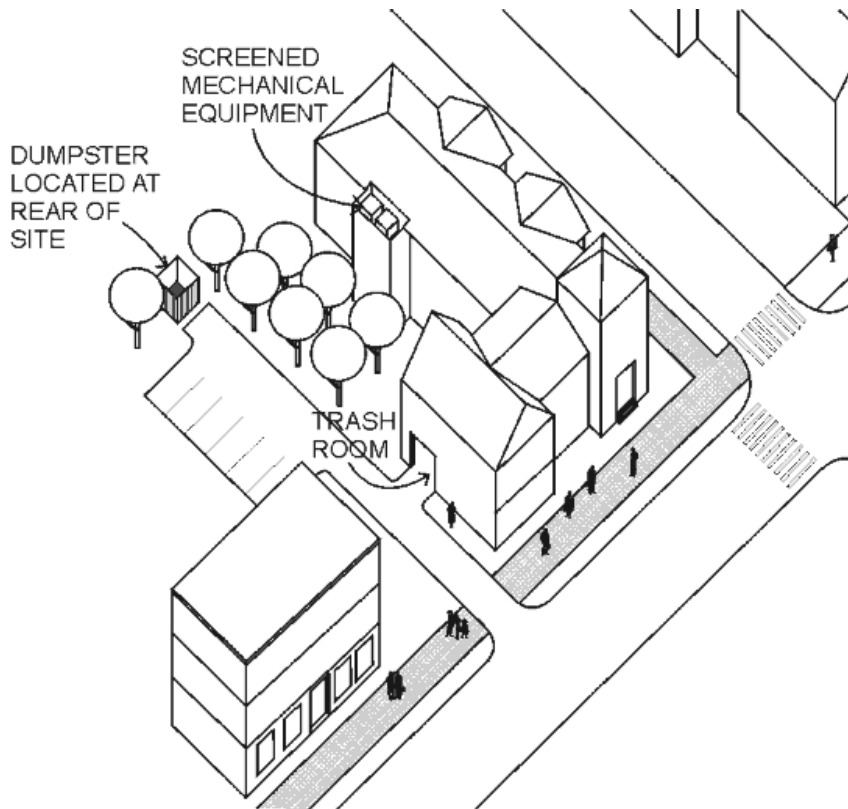


Figure B.5.1-1. Locate service elements to reduce impacts on the residential and pedestrian environment.

GUIDELINES:

B.5.1 Service Areas and Mechanical Equipment

Reduce impacts of refuse containers and storage areas through the following implementation measures:

- a. Service areas (loading docks, trash dumpsters, compactors, recycling areas, electrical panels, and mechanical equipment areas) shall be located to avoid negative visual, auditory (noise), olfactory, or physical impacts on the street environment and adjacent residentially zoned properties. The City may require evidence that such elements will not significantly impact neighboring properties or public areas. (For example, the City may require noise damping specifications for fans near residential zones.)
- b. Exterior loading areas for commercial uses shall not be located within 20 feet of a single family residentially zoned property, unless the Director finds such a restriction does not allow feasible development. In such cases, the areas and drives will be separated from the residential lot by a masonry wall at least 8 feet high. Internal service areas may be located across the street from a single family residential zone.

- c. Service areas must not be visible from the sidewalk and adjacent properties. Where the City finds that the only option for locating a service area is either visible from a public right-of-way or space or from an adjacent property, the area must be screened with either landscape or structural screening measures provided in Section B.5.2.
- c. Ground-mounted mechanical equipment must be located and screened to minimize visual and noise impacts to pedestrians on streets and adjoining properties.
- d. Roof-mounted mechanical equipment must be located and screened so the equipment is not visible from the ground level of adjacent streets or properties within 20 feet of the structure. Match the color of roof mounted equipment with the exposed color of the roof to minimize visual impacts when equipment is visible from higher elevations nearby.

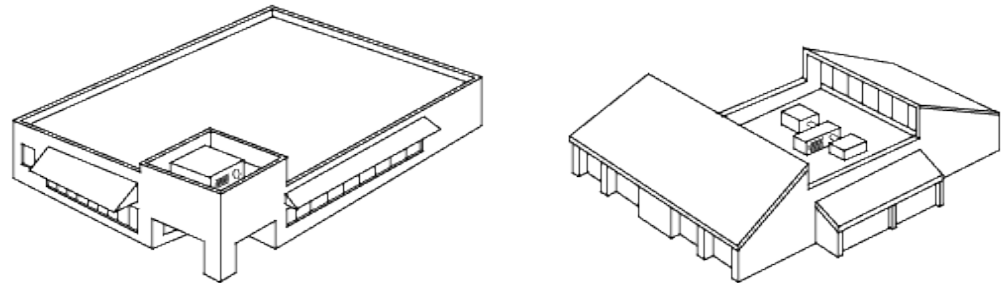


Figure B.5.1-2. Examples of how to screen roof-mounted mechanical equipment.

- e. Locate and screen utility meters, electrical conduit, and other service and utilities apparatus so they are not visible from adjoining properties and nearby streets.
- f. Other provisions of Section B.5 notwithstanding, service areas used by residents shall be located to avoid entrapment areas and other conditions where personal security is a problem. The Director may require pedestrian-scaled lighting or other measures to enhance security.
- g. While exterior service areas must be screened, screening requirements may be reduced by the Director at access points for service areas inside buildings.
- h. In addition to the required screening, art work such as paint schemes or coverings that help to blend the equipment into the background may also be utilized.
- i. Locate and/or shield noise producing mechanical equipment such as fans, heat pumps, etc so that noise reaching the adjacent properties is less than 50 dBA. If required by the Director, the applicant must demonstrate that this standard is achieved by providing equipment specifications and/or calculations of noise impacts



Figure B.5.1-3. Place utility meters in less visible locations. Note that this example is acceptable on a service alley but not near a street or residential walkway.

B.5.2 Screening of Service Areas

Where screening of service areas is called for, adhere to the following:

- a. A structural enclosure shall be constructed of masonry, heavy-gauge metal, or decay resistant composite wood and have a roof. The walls must be sufficient to provide full screening from the affected roadway or use. The enclosure may use overlapping walls to screen dumpsters and other materials (see photos). Gates shall be made of heavy-gauge, site obscuring material.
- b. Collection points shall be located and configured so that the enclosure gate swing does not obstruct pedestrian or vehicle traffic, or does not require that a hauling truck project into any public right-of-way.
- c. Weather protection of recyclables shall be ensured by using weather-proof containers or by providing a roof over the storage area.
- d. In addition to the required screening, art work such as paint schemes or coverings that help to blend the equipment into the background may also be utilized.

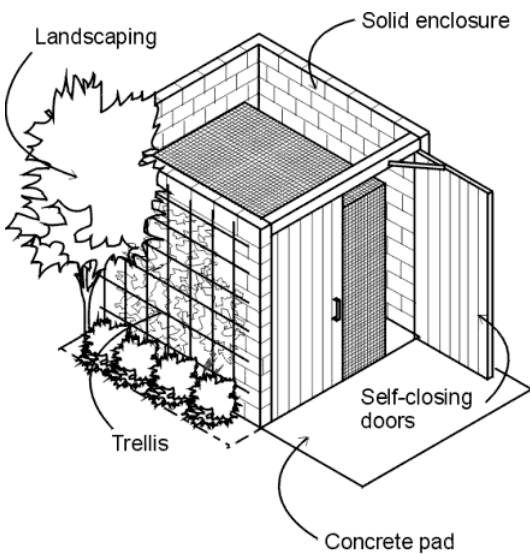


Figure 2. Examples of acceptable dumpster enclosures.

B.6 Storm Water Facility Planning

INTENT:

- ◆ To comply with storm water management requirements as outlined in the Tumwater Drainage Manual.
- ◆ To integrate low impact development storm water management/water quality systems into the site design as an amenity.
- ◆ To reduce the economic burden of storm water management systems on developments.
- ◆ To encourage creative use and cost-effective storm water management solutions for new development

Note: These guidelines address design issues and are not intended to diminish or alter other requirements for storm water management measures in the TMC.

GUIDELINES:

B.6.1 Compliance with City Storm Water Design Manual
All storm water facilities must comply with the City of Tumwater storm water design manual.

B.6.2 Integration of Storm Water Facilities into Site Design

When used, integrate biofiltration swales, rain gardens, storm water planters, and other low impact development storm water management measures into the overall site design. Locate them so they don't impede pedestrian circulation. Examples of filtration methods are listed below:

- a. Incorporate the biofiltration system, including low-impact development (LID) features, as part of the landscape features of the development. If the biofiltration system is incorporated into the landscaping of the site's open space, then, upon

approval of the Director, the storm water facility may be counted as part of the required open space or landscaping.



Figure B.6.1-1 A preferred method of handling storm water is through retention systems, such as rain gardens, incorporated as site amenities. Other low-impact development techniques are encouraged, and in many cases, required.

- b. Locate biofiltration swales, ponds, or other approved biofiltration systems as part of a landscape screen.
- c. Where topography is favorable, locate the biofiltration swale, wet pond, or other approved biofiltration system within the paved parking or service area integrate it into the required internal parking area landscaping.
- d. Use appropriate plant species as approved by the Director.

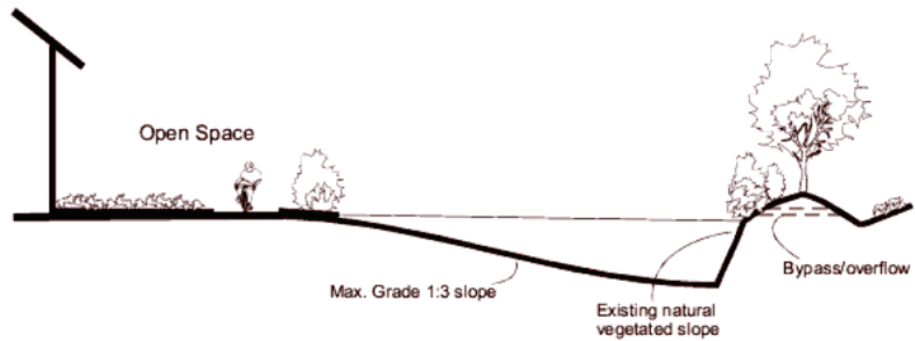


Figure B.6.1-2. Biofiltration swale designed as an amenity.

B.7 Multi-Family Open Space

INTENT:

- ◆ To create useable space that is suitable for leisure or recreational activities for residents.
- ◆ To create open space that contributes to the residential setting.
- ◆ The open space requirements of this section take precedence over open space requirements elsewhere in the TMC.

GUIDELINES:

B.7.1 Amount of required Residential Open Space

- a. All multifamily residential development must provide 100 square feet of on-site open space per dwelling unit. Acceptable types of open space include:
 - (1) Common Open Space. Where accessible to all residents, usable outdoor open space may count for up to one hundred percent of the required open space. “Usable outdoor open space” includes landscaped courtyards or decks, entrance plazas, gardens with pathways, children’s play areas, or other multipurpose recreational and/or green spaces. Special requirements for common open spaces include the following:
 - (i) Required setback areas shall not count towards the open space requirement, unless it is designed and constructed to meet the requirements for multi-family open space areas.
 - (ii) Space shall have a minimum dimension of fifteen feet to provide functional leisure or recreational activity.

- (iii) Space shall feature paths or walkable lawns, landscaping, seating, lighting, play structures, sports courts, or other pedestrian amenities to make the area more functional and enjoyable for a range of users.
- (iv) Common space shall be separated from ground level windows, streets, service areas and parking lots with landscaping, low-level fencing, and/or other treatments as approved by the city that enhance safety and privacy for both the common open space and dwelling units.
- (v) The space should be oriented to receive sunlight, face east, west or preferably south, when possible.
- (vi) Separate common space from ground floor windows, streets, service areas, and parking areas with landscaping and/or low-level fencing. However, care shall be used to maintain visibility from dwelling units towards open space for safety.
- (vii) The space must be directly accessible and visible from public streets and sidewalks and oriented to encourage activity from local residents.



Figure B.7.1-1. Good examples of common open space, including street level courtyards (pictures on right), a children's play area (lower left), and a pedestrian corridor (upper left)

- (2) Balconies. Individual balconies or patios may be used for up to fifty percent of the required open space. To qualify as open space, balconies or patios must be at least thirty-five square feet, with no dimension less than five feet.

- (3) Rooftop Decks and Terraces. Decks and terraces may be used to meet up to fifty percent of the required open space, provided the following conditions are met:
 - (i) Space must be accessible to all dwelling units and ADA compliant.
 - (ii) Space must provide amenities such as seating areas, landscaping, and/or other features that encourage use as determined by the city.
 - (iii) Space must feature surfacing that enables residents to use the open space.
 - (iv) Space must incorporate features that provide for the safety of residents, such as enclosures and appropriate lighting levels.
 - (4) On-site indoor recreation areas may be used to meet up to twenty-five percent of the required open space provided the following conditions are met.
 - (i) Space must be accessible (ADA) and walkable to all dwelling units.
 - (ii) The space is designed for and includes equipment for a recreational use (e.g., exercise, group functions, etc.).
- b. Setbacks/Privacy. All ground floor residential units shall be set back at least twelve feet from public rights-of-way, sidewalk or commonly accessible pathway. Exception: This requirement is waived if the units have a floor elevation at least three feet above the sidewalk grade to provide for increased privacy. The city may approve other design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

B.8 Non-Residential Open Space

INTENT:

- ◆ To enhance the development character and attractiveness of non-residential development.
- ◆ To increase pedestrian activity and amenity for shoppers
- ◆ To mitigate the impacts of large format retail stores, which by their nature are auto-oriented, anti-pedestrian, and incompatible with the desired, mixed-use character of the mixed use zones.

GUIDELINES:

B.8.1 Non-Residential Open Space Requirements

- a. New developments with non-residential uses on sites with a total site area greater than 1 acre and that are also located either between “M” Street on the north and “U” Street (East side of Capitol Boulevard or Pinehurst St (west side of capitol Boulevard) on the south or between “X” Street on the north and Dennis Street on the south must provide “pedestrian oriented open space” equal to at least 1% of the ground floor non-residential building footprint plus 1% of the “site area”. The

open space may be in the form of “pedestrian oriented open space” (Guideline C.2.1), garden, play area or other open space feature that serves both as a visual amenity and a place for human activity. Portions of sidewalks that are wider than 12’ and which meet the standards of pedestrian-oriented open space may be counted toward this requirement. For this specific guideline, “Site area” includes all land needed for the non-residential portion of the project including parking, service areas, access and required landscaping. The intent of this guideline is to provide for some outdoor space for activities or amenities that enhance the commercial activities, such as outdoor eating areas, display areas, seating, etc.

B.9 Site Planning for Security

INTENT:

- ◆ To increase personal safety and property security.

GUIDELINES:

B.9.1 Prohibitions

In site development planning, avoid:

- Entrapment areas, where a person could become trapped with no exit route. Provide two means of egress from all outdoor spaces. Ensure entrapment conditions are avoided in the design of rooftop decks.
- Areas that are dark or not visible from a public space.

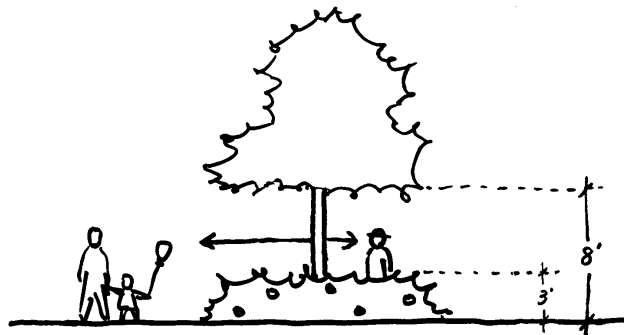


Figure B.9.1-1 Keep landscaping open between 3 feet and 8 feet above grade where there is the need for visibility.

- Buildings, vegetation, or other objects (e.g., a storage enclosure) that block visibility into a space or provide places to hide.
- Screens or landscaping that block motorists’ views of pedestrians crossing streets, driveways, and vehicular circulation areas.
- Where visibility is necessary to avoid creating an unsecure area to reduce the potential for pedestrian/vehicle collisions, do not plant vegetation that will obstruct views between 3 feet and 8 feet above the ground. (See Figure B.9.1-1)

B.9.2 Desirable Elements

In the planning of the site and design of buildings and site elements, to the extent feasible provide for:

- a. "Passive surveillance," the ability of people occupying buildings and public spaces to view all parts of accessible spaces.
- b. Security and pedestrian lighting per Guideline F.1.1.

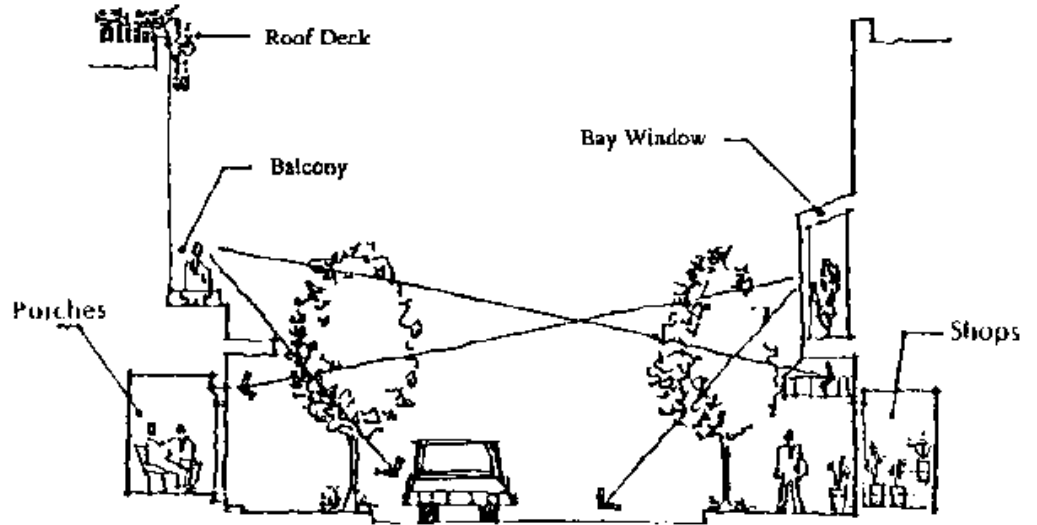


Figure B.9.2-1. Passive surveillance or the ability of people in buildings or traveling along roadways to see outdoor spaces, increases security.

C. Pedestrian Access, Amenities, and Open Space Design

C.1 Internal Pedestrian Paths and Circulation

INTENT:

- ◆ To provide safe and direct pedestrian access that accommodates all pedestrians, minimizes conflicts between pedestrians and vehicular traffic, and provides pedestrian connections to neighborhoods.
- ◆ To accommodate non-competitive/non-commuter bicycle riders who use bicycles on short trips for exercise and convenience.
- ◆ To provide attractive internal pedestrian routes that promote walking and enhance the character of the area.

GUIDELINES:

C.1.1 Pedestrian Circulation – General Design

Figure C.1.1-1. An example of an attractive pedestrian connection through a multi-family development.



- a. For safety and access, landscaping shall not block visibility to and from a path, especially where it approaches a roadway or driveway.
- b. Pedestrian walks shall be separated from structures at least 3 feet for landscaping except where the adjacent building features a pedestrian-oriented façade per Section E.4. The Director may consider other treatments to provide attractive pathways. Examples include sculptural, mosaic, bas-relief artwork, or other decorative treatments that meet the guidelines intent. (Figure C.1.1-1 provides one example.)

Figure C.1.1-2 Provide landscaping between walkways and structures

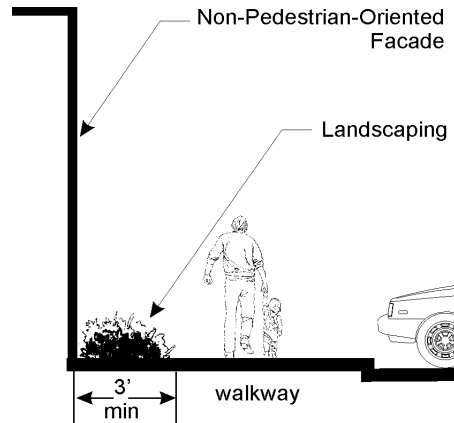


Figure C.1.1-3. Wall treatment to provide interest along a walkway



- c. Pathways providing access to commercial and mixed-use buildings must be at least 8 feet wide. If the walkway is between a façade with a primary building entry and a parking lot see C.1.2 below. For all other interior pathways, the applicant must demonstrate to the Director’s satisfaction that the proposed walkway is of sufficient width to accommodate the anticipated number of users. For example, a 10- to 12-foot wide pathway can accommodate two couples passing one another. An 8 foot wide pathway will accommodate three persons walking abreast, while a 6-foot wide pathway will allow two individuals to pass comfortably.
- d. Public pathways must be American with Disabilities Act (ADA) compliant.

C.1.2 Pedestrian Circulation Where Facades Face Parking Areas

In commercial settings where a building’s main entrance faces onto a parking area rather than the street, provide wide pathways adjacent to the façades of retail and mixed-use buildings. Pathways along the front façade of mixed-use and retail buildings 100 feet or more in length (measured along the façade) that are not located adjacent to a street must be at least 12 feet wide with 8 feet minimum unobstructed width and include the following:

- a. Trees, as approved by the Director, must be placed at an average of 30 feet on-center and placed in grates. Breaks in the tree coverage will be allowed near major building entries to enhance visibility. However, no less than 1 tree per 60 lineal feet of building façade must be provided.



Figure C.1.2-1. Example of a successful pedestrian sidewalk between parking lot and storefront.

- b. Planting strips may be used between any vehicle access or parking area and the pathway, provided that the required trees are included and the pathway is at least 8 feet in width and the combined pathway and planting strip is at least 12 feet in width. (See Figure C.1.2-1.)
- c. Lighting must conform to F.1.

C.1.3 Bicycle Facilities

Provide bicycle racks, lockers, or other means of safely and conveniently parking bicycles at the rate of at least two bicycles for every 100 linear feet of building façade with a main entry. Bicycle parking facilities may be consolidated but the consolidated facilities must accommodate an equivalent number of bikes.

C.2 Pedestrian-Oriented Open Space

INTENT:

- ◆ To provide a variety of pedestrian areas to accommodate shoppers on pedestrian-oriented streets.
- ◆ To provide safe, attractive, and usable open spaces that promote pedestrian activity and recreation.

GUIDELINES:

C.2.1 Pedestrian-Oriented Open Space

Where “pedestrian-oriented open space” is provided, including, but not limited to areas required in these guidelines (See guidelines B.1.1.d, B.8.1, E.2.1 and E.9.1) or in Title 18 TMC, design the open space according to the following criteria. If sidewalks are wider than the required minimum width, the additional sidewalk width may be counted as pedestrian-oriented open space.

- a. Required pedestrian-oriented open space features:
 - (1) Visual and pedestrian access (including ADA compliant access) into the site from a street, private access road, or non-vehicular courtyard.
 - (2) Paved walking surfaces of either concrete or approved unit paving.
 - (3) Lighting must conform to F.1.
 - (4) Spaces must be located in or adjacent to areas with significant pedestrian traffic to provide interest and security, such as adjacent to or visible from a building entry.
 - (5) Landscaping components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both.
- b. Desirable pedestrian-oriented open space features:

- (1) Pedestrian amenities, such as a water feature, site furniture, artwork, drinking fountains, kiosks, or other similar features.
 - (2) At least 2 feet of seating area (a bench or ledge at least 16 inches deep and appropriate seating height) or one individual seat per 60 square feet of plaza area or open space.
 - (3) Adjacent buildings with transparent window and doors covering 75 percent of the façade between 2 feet and 8 feet above the ground level.
 - (4) Consideration of the sun angle at noon in the design of the space.
 - (5) Pedestrian weather protection, alcoves, seating, or other features along building edges to allow for outdoor seating areas and a planted buffer.
- c. A pedestrian-oriented open space must not have:
- (1) Asphalt or gravel pavement.
 - (2) Adjacent parking areas or service areas (e.g., trash areas) that are not separated with landscaping, as described in D.2.2.
 - (3) Adjacent chain-link fences.
 - (4) Adjacent "blank walls" without "blank wall treatment."
 - (5) Outdoor storage that does not contribute to the pedestrian-oriented environment.
 - (6) Outdoor areas serving liquor that do not meet the Liquor Control Board requirements.

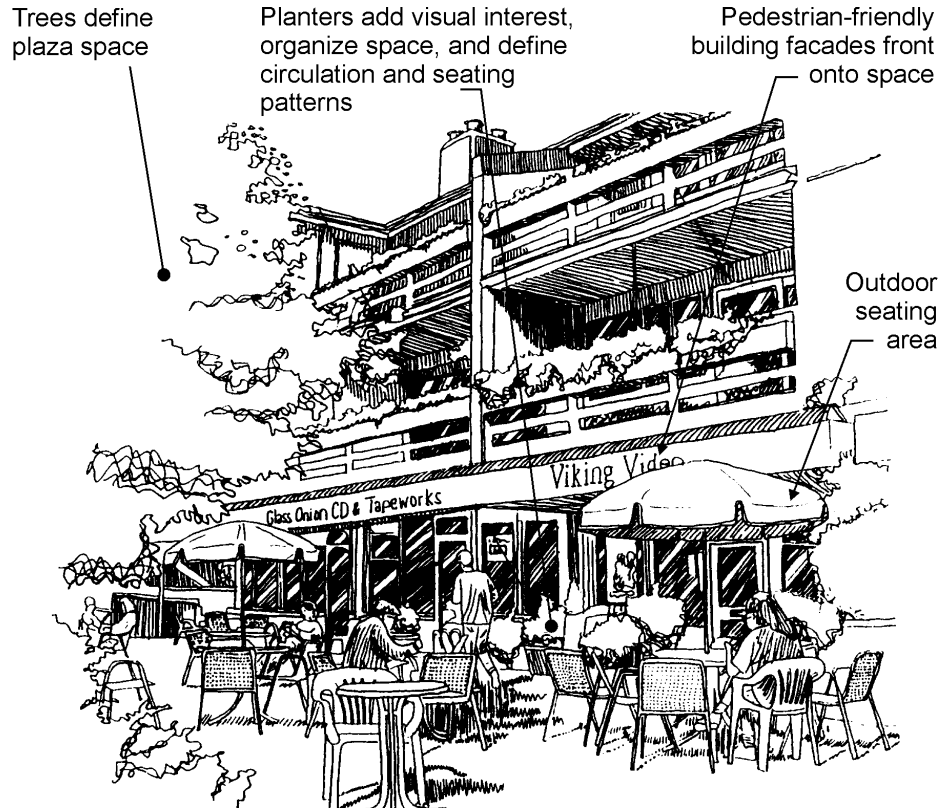


Figure C.3-1. Example of a small pedestrian-oriented open space.

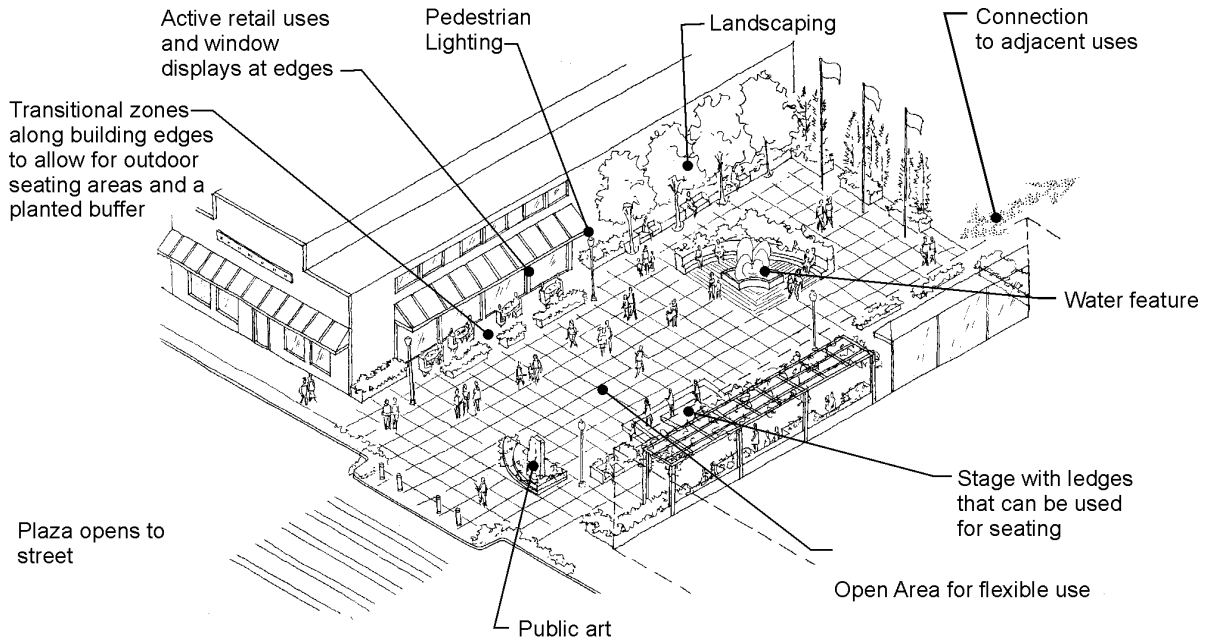


Figure C2.1-2. Example of a large pedestrian-oriented open space.

C.3 Site Landscaping

INTENT:

- ◆ To encourage the abundant use of landscaping in site and development design to improve site aesthetics, enhance the pedestrian experience, and increase environmental quality.
- ◆ To reduce surface water runoff by percolating water through landscaped areas.
- ◆ To maintain and improve privacy for residential zones.
- ◆ To enhance buildings and open spaces.
- ◆ To make adjacent uses more compatible
- ◆ To provide visual relief from roadways, parking areas, and the built environment.

GUIDELINES:

C.3.1 Reference to TMC 18.47

The landscaping standards of TMC 18.47 shall apply. These standards are intended to supplement those standards.

C.3.2 Landscaping – General standards for all landscape areas.

All new landscape areas proposed for a development shall be subject to the following provisions:

- a. Berms shall not exceed a slope of two horizontal feet to one vertical foot (2:1).
- b. Plants having similar water use characteristics shall be grouped together.
- c. Plant selection shall consider adaptability to sun exposure, soil conditions, and the topography of the planting area. Preservation of existing vegetation is encouraged.
- d. Install no plants included in the Thurston County Noxious Weed list.
- e. All plants shall conform to American Association of Nurserymen (AAN) grades and standards as published in the “American Standard for Nursery Stock” manual; provided that existing healthy vegetation used to augment new plantings shall not be required to meet the standards of this manual.
- f. Street trees and trees internal to the development shall conform to the standards in the Tumwater Comprehensive Street Tree Plan.
- g. When the width of any landscape strip is 20 feet or greater, the required trees shall be staggered in two or more rows.
- h. Shrubs shall be dwarf varieties unless demonstrated that other varieties can thrive if maintained at 42 inches. Shrubs shall also be as follows:

- (1) At least an AAN container Class No. 2 size at time of planting in Type I, II and parking area landscaping;
 - (2) At least 24 inches in height at the time of planting for Type I landscaping; and
- l. Shrubs shall be perennials.
 - m. Groundcovers shall be planted and spaced to result in total coverage of the required landscape area within three years.
 - n. All fences shall be placed on the inward side of any required perimeter landscaping along the street frontage.
 - o. Required street landscaping may be placed within City of Tumwater street rights-of-way subject to the permission of the City of Tumwater director of public works.
 - p. Required street landscaping may be placed within Washington State rights-of-way subject to permission of the Washington State Department of Transportation.
 - q. New landscape material provided for vegetation restoration or mitigation requirements and within areas of undisturbed vegetation or within the protected area of significant trees shall give preference to utilizing western Washington native plant species.

C.3.3 Landscaping – Plan design, design review, and installation.

- a. A landscape plan must be submitted to the Director that complies with TMC 18.47. The required landscaping shall be installed no later than three months after issuance of a certificate of occupancy for the project or project phase. However, the time limit for compliance may be extended to allow installation of such required landscaping during the next appropriate planting season.

C.3.4 Maintenance.

- a. All landscaping shall be maintained for the life of the project, including water conservation practices for turf grass such as annual aeration and dethatching, top dressing and over seeding;
- b. All landscape materials shall be properly pruned by a trained specialist and trimmed as necessary to maintain a healthy growing condition or to prevent primary limb failure;
- c. With the exception of dead, diseased or damaged trees specifically retained to provide wildlife habitat, other dead, diseased, damaged, topped, or stolen plantings shall be replaced within three months or during the next planting season if the loss does not occur in a planting season; and
- d. Landscape areas shall be kept free of trash, mulched, and weeded.

D. Parking Area Design

D.1 Parking area design requirements

Parking areas must comply with TMC 18.50 and the landscaping standards for parking areas in TMC 18.47. In addition to these requirements, parking areas must comply with the following standards.

D.2 Pathways through Parking Areas

INTENT:

- ◆ To provide safe and convenient pedestrian paths from the street sidewalk through parking areas to building entries in order to encourage pleasant walking experiences between businesses.
- ◆ To provide an inviting, pleasant pedestrian circulation system that integrates with parking and serves as access to nearby businesses.

GUIDELINES:

D.1.1 Pathways through Parking Lots

Developments must provide specially marked or paved walkways through parking areas. Generally, walkways must be provided at least every four rows or at least every 180 feet. Where possible, align the pathways to connect with major building entries or other sidewalks, pathways, and destinations. The walkway must be at least 4 feet wide (clear) excluding vehicle overhang.



Figure D.1.1-1 Parking area pathway examples.

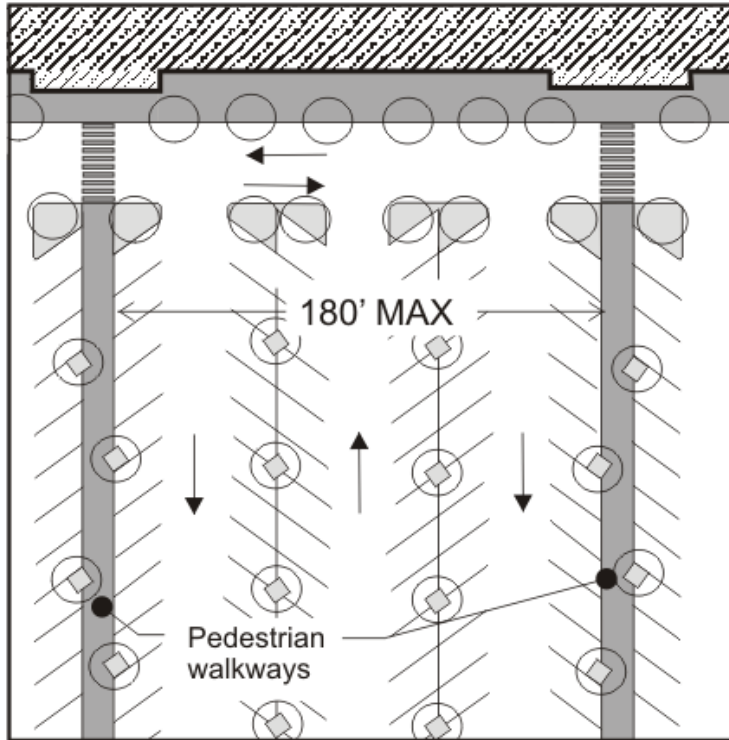


Figure D1.1-2 Parking area pathway configuration.

D.2 Parking Area Landscaping

INTENT:

- ◆ To reduce the visual presence of parking on the Capitol Boulevard Community zone streetscapes and adjacent development.
- ◆ To increase the visual quality of the Capitol Boulevard Community zone.
- ◆ To increase tree canopy cover for environmental and aesthetic benefits.
- ◆ To improve water quality and improve storm water management.

GUIDELINES:

D.2.1 Interior Parking Area Landscaping

Parking area landscaping shall be provided within surface parking areas with 20 or more parking stalls for the purpose of providing shade, diminishing the visual impacts of large paved areas, and providing stormwater management. Island and planter strips designed to work as rain gardens for stormwater management, with sloped grading and curb cuts are encouraged. Surface parking areas shall be as follows:

- a. Developments with parking areas with 20 or more stalls shall provide planting areas at the rate of 20 square feet per parking stall;
- b. Trees shall be provided and uniformly distributed throughout the parking area at a rate of one tree for every 10 parking stalls;
- c. The maximum distance between any parking stall and landscaping shall be no more than 100 feet;
- d. Permanent curbs or structural barriers shall be provided to protect the plantings from vehicle overhang and curb cuts shall be provided in these barriers to allow surface water to flow into landscaped areas if the landscape area receiving the surface water is designed as a treatment and retention/detention facility in accordance with the drainage manual; and
- e. Parking area landscaping shall consist of:
 - (1) Canopy-type deciduous trees, coniferous trees, broadleaf evergreen trees, evergreen shrubs, perennials, and groundcovers planted in islands or strips;
 - (2) Shrubs planted at a rate of one per 20 square feet of landscaped area and maintained at a height of no more than 42 inches;
 - (3) Plantings contained in planting islands or strips having an area of at least 100 square feet and with a narrow dimension of no less than five feet;
 - (4) Groundcover pursuant to Section C.3.2.

D.2.2 Parking Area Screening

Parking area screening shall be provided between the sidewalk and parking areas within Capitol Boulevard Community Zone, with either a or b as follows:

- a. Any of the alternatives identified in TMC 18.47, or those listed in “b” below;
- b. Provide a 5-foot wide planting bed that incorporates a continuous low wall (approximately 3 feet tall) and/or trellis. The planting bed shall be in front of the wall, provide irrigation and feature the following plantings:
 - (1) A mix of deciduous and evergreen trees generally interspersed throughout the landscape strip and spaced to create a continuous canopy. Alternatively, a trellis and shrubs, as in Figure D.2.2-1, may be substituted for the trees.
 - (2) Unless the trellis option is chosen, trees provided at the rate of one per 25 linear feet of landscape strip and spaced no more than 30 feet apart on center.
 - (3) Shrubs provided at the rate of one per 20 square feet of landscape strip and spaced no more than eight feet apart on center.
 - (4) Perennials per section C.3.2.
 - (5) Groundcover per section C.3.2.

The wall shall be constructed of brick, stone, decorative concrete or concrete block, or other permanent material that provides visual interest and helps to define the street edge as determined by the Director. (See Figure D.2.2-1 for an example).



Figure D.2.2-1 Parking area planting buffer with low wall and trellis.

E. Building Design

E.1 Building Design - Character

GENERAL NOTES:

1. Many of these building design guidelines call for a building to feature one or more elements from a menu of items. In these cases, a single element, feature, or detail may satisfy multiple objectives. For example, a specially designed or fabricated covered entry with attractive detailing might be counted toward requirements for human scale, building corners, and building details.
2. The terms “decorative” and “ornamental” are not necessarily meant to mean “characterized by traditional patterns, nonstructural elements, or applied markings.” Elements may be considered “decorative,” “ornamental,” or “special” if they extend beyond the typical level of quality, use materials or forms in an unusual way, or show special architectural consideration. The Director shall determine what elements are “ornamental,” “decorative,” or “special.”

INTENT:

- ◆ To provide building design that has a high level of design quality and creates comfortable human environments.
- ◆ To incorporate design treatments which add interest and reduce the scale of large buildings.
- ◆ To encourage building design that is within the historic character of Tumwater but responsive to site conditions.
- ◆ To encourage functional, durable, and environmentally responsible buildings.

GUIDELINES:

E.1.1 Architectural Character

A variety of architectural elements and characteristics are desirable to avoid monotonous development. Traditional building elements, forms and materials may be appropriate, as are contemporary architectural styles and features. Buildings within a multi-building development shall generally be designed as a composition so that the buildings’ characters complement one another through the use of similar forms, materials, proportions or other characteristics.

E.2 Human Scale Elements

INTENT:

- ◆ To encourage the use of building components that relate to the size of the human body.
- ◆ To add visual interest to buildings.

GUIDELINES:

E.2.1 Human-Scale Elements

“Human scale” addresses the relationship between a building and the human body. Generally, buildings attain a good human scale when they feature elements or characteristics that are sized to fit human activities, such as doors, porches, and balconies.

Incorporate a minimum of four human scale building elements into new buildings and structures.

Human scale measures include:

- a. Balconies or decks in upper stories, at least one balcony or deck per upper floor on the façades facing streets, provided they are integrated into the architecture of the building.
- b. Bay windows or other window treatments that extend out from the building face;
- c. At least 100 square feet of pedestrian-oriented open space, as described in C.3.1, for each 100 lineal feet of building façade;
- d. First floor individual windows, generally less than 32 square feet per pane and separated from the windows by at least a 6” molding;
- e. A porch or covered entry;
- f. Spatially defining building elements, such as a trellis, overhang, canopy, or other element, that defines space that can be occupied by people;
- g. Upper story setbacks, provided one or more of the upper stories are set back from the face of the building at least 6 feet;
- h. Placement of smaller building elements near the entry of pedestrian-oriented street fronts of large buildings (Figure E.2.1-2 illustrates how human scale can be achieved using elements such as multiple canopies, an extended café area, and upper deck);
- i. Landscaping components that meet these guidelines;
- j. Public art that incorporates elements of a normal human scale (e.g.: life size sculpture.) ; and
- k. Other elements that the Director determines meets the intent of these guidelines.



Figure E.2.1-1. An example of balconies that have been integrated into the architecture of the building.

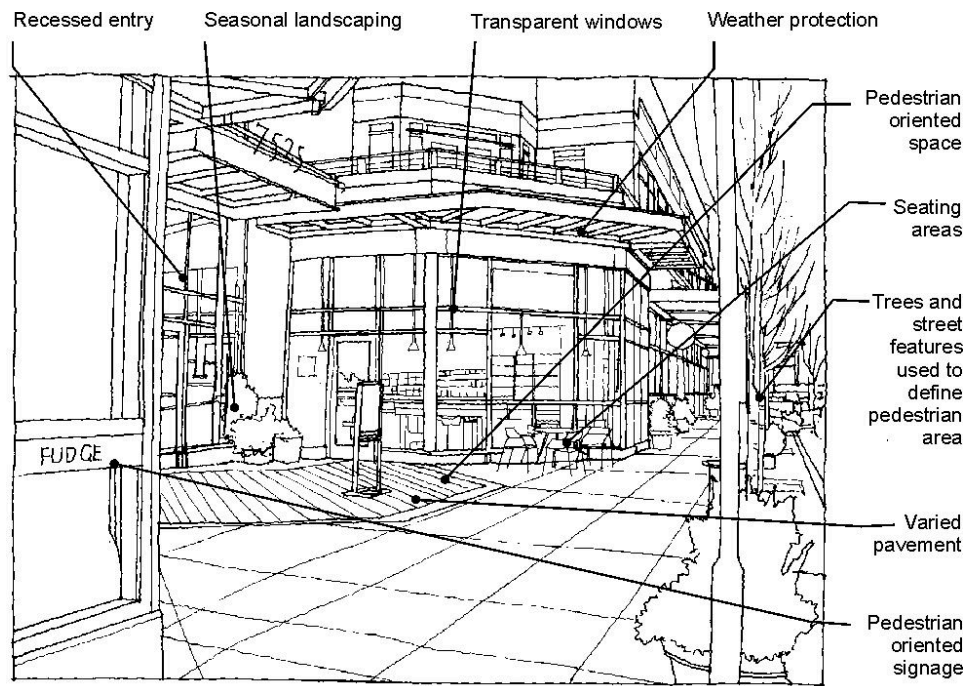


Figure E.2.1-2. Illustrating a variety of human scale components on a building.



Figure.E.2.1-3 This mixed-use building incorporates decks, upper level setbacks, trellises, and landscaping to meet human scale guidelines.

E.3 Architectural Scale

INTENT:

- ◆ To encourage architectural scale of development that is compatible with nearby areas.
- ◆ To add visual interest to buildings.

Note:

- **Architectural scale** is the perceived height and bulk of a building relative to that of neighboring buildings. A building has “good architectural scale” if its visual size is relatively similar to its neighbors.
- **Modulation** is a stepping back or projecting forward of portions of a building face, within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure’s continuous exterior walls.
- **Articulation** is visually breaking up a building façade into intervals by including repetitive features, such as broken rooflines, chimneys, entrances, distinctive window patterns, street trees, and modulation.

GUIDELINES:

E.3.1 Scale of Large Buildings

- a. All new buildings over three stories or over 5,000 square feet in gross building footprint or with facades longer than 100 feet measured horizontally shall provide at least three modulation and/or articulation features as described below along any façade that is visible from a street, residential zone or pedestrian pathway. In addition, there must be an entry at least every 60 feet:
 - (1) Horizontal building modulation. The depth of the modulation must be at least 2 feet when tied to a change in the roofline and at least 5 feet in other situations. Balconies may be used to qualify for this option, provided they have a floor area of at least 40 square feet, are integrated with the architecture of the building, and project at least 2 feet from the building façade.



Figure E.3.1-1. Mixed-use building with modulation to increase its interest and human scale.

- (2) Modulated roof line. Buildings may qualify for this option by modulating the roof line of all façades visible from a street, park, or pedestrian pathway consistent with the following standards:
 - (a) For flat roofs or façades with a horizontal fascia or parapet, change the roofline so that no un-modulated segment of roof exceeds 60 feet. Minimum vertical dimension of roof line modulation is the greater of 2 feet or 0.1 multiplied by the wall height (finish grade to top of wall);
 - (b) For gable, hipped, or shed roofs, a slope of at least 3 feet vertical to 12 feet horizontal; or
 - (c) Other roof forms such as arched, vaulted, dormer, or saw-toothed may satisfy this design standard if the individual segments of the roof with no change in slope or discontinuity are less than 60 feet in width (measured horizontally).
- (3) Repeating distinctive window patterns at intervals less than the articulation interval.
- (4) Providing a porch, patio, deck, or covered entry for each articulation interval.

- (5) Changing the roofline by alternating dormers, stepped roofs, gables, or changing roof textures on certain features such as metal roofs on towers and dormers to reinforce the modulation or articulation interval.
- (6) Changing materials with a change in building plane.
- (7) Providing lighting fixtures, trellises, trees, or other landscape feature within each interval.



Figure E.3-2. Example of a well articulated building. Note how the awnings, window divisions, pilasters columns and cornice line all serve to divide up the façade into smaller segments without disrupting the unity of the overall design.

The Director may increase or decrease the 60-foot interval for modulation and articulation to better match surrounding structures or to implement an adopted subarea plan.



Figure E.3-3. This development uses a variety of roof forms and heights and variations in roof textures by using metal hip roofs, different weather protection features, changing building materials and colors, and a modest amount of horizontal building modulation to reduce the overall architectural scale into smaller “storefront” components.

E.4 Pedestrian-Oriented Facades and Weather Protection

INTENT:

- ◆ To create a safe, attractive, welcoming pedestrian environment.
- ◆ To enhance retail activity.

GUIDELINES:

E.4.1 Pedestrian-Oriented Facades

Where pedestrian-oriented facades are required (such as in B.1.1.f and B.1.2.c), the building shall meet the following:

- a. Transparent window areas or window displays or a combination of sculptural, mosaic, or bas-relief artwork and transparent window areas or window displays over at least 75 percent of the ground floor façade between 2 feet and 8 feet above grade. The windows may look into the building’s interior or be configured as merchandise display windows. The building must be designed so that the windows satisfying the requirement for “pedestrian oriented facades” do not look into service or storage areas or other unsightly rooms.

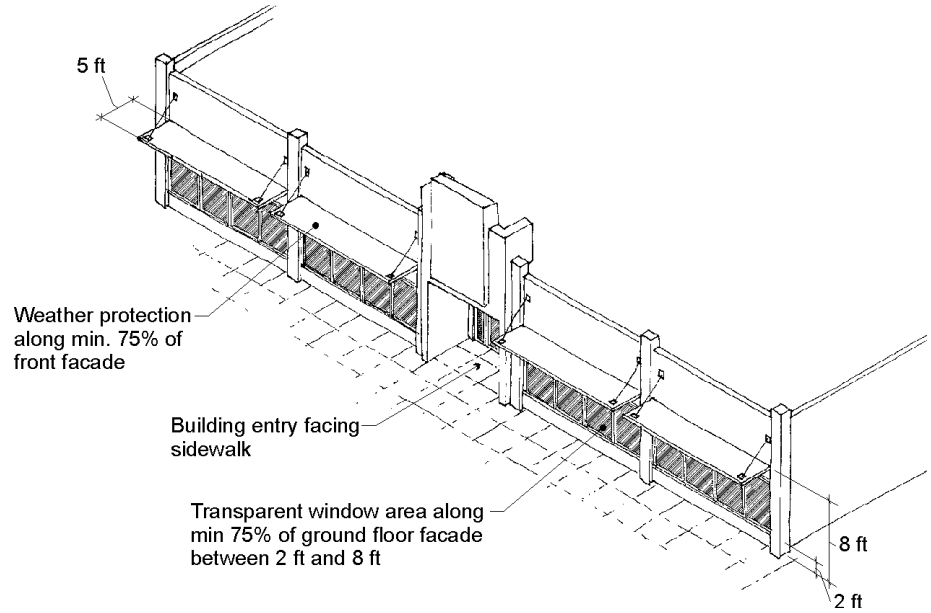


Figure E.4.1-1. An example of a pedestrian-oriented façade.

- b. A primary building entry facing the streetfront. (See Section E.9 for entry enhancement requirements.)
- c. Weather protection at least 5 feet wide over at least 65 percent of the front facade.

E.4.2 Pedestrian Weather Protection

In addition to weather protection along pedestrian-oriented facades (see E.4.1), provide pedestrian weather protection in public spaces such as transit stops, building entries, along display windows, specifically:

- a. Weather protection at least 5 feet deep is required over the entries of all primary buildings, individual businesses, and individual residences. This may include a recessed entry, canopy, porch, marquee, or building overhang.



Figure E.4.2-1. Provide weather protection over building entries.

- b. Canopies, awnings, or other similar weather protection features shall not be higher than 15 feet above the ground elevation at the highest point or lower than 8 feet at the lowest point.

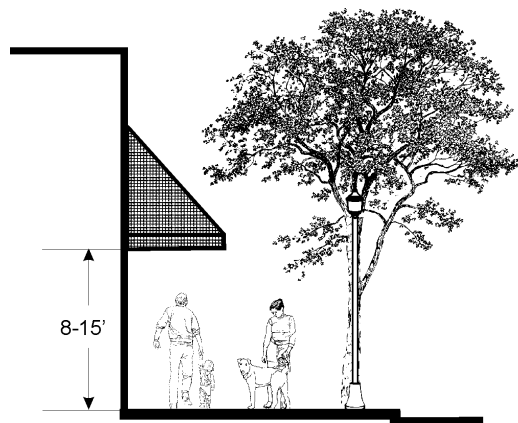


Figure E.4.2-2. Height standards for weather protection features.

- c. The color, material, and configuration of the pedestrian coverings shall be as approved by the Director. To encourage design elements that convey the historical theme of Tumwater, pitched or mansard metal roofs, decorative brick facades, and ornamental towers with pitched roofs and decorative cornices are examples of design elements that reflect the history of Tumwater. Several of these elements are incorporated into the designs of State office buildings along the southern end of Capitol Boulevard. Coverings with visible corrugated metal or corrugated fiberglass are not permitted unless approved by the Director. Fabric and rigid metal awnings are acceptable if they meet the applicable standards. All lettering, color and graphics on pedestrian coverings must conform to the TMC 18.44 and these guidelines.
- d. Multi-tenant retail buildings are encouraged to use a variety of weather protection features to emphasize individual storefronts and reduce the architectural scale of the building. Figure E.4.2-3 provides unacceptable and better examples.



Figure E.4.2-3. The continuous canopy on top is monotonous and deemphasizes individual storefronts. The bottom example provides a variety of weather protection features and represents a more desirable example.

E.5 Building Corners

INTENT:

- ◆ To create visual interest and increased activity at public street corners.

GUIDELINES:

E.5.1 Building Corners

Architecturally accentuate building corners at street intersections. All new buildings located at the intersection of Capitol Boulevard with a side street shall employ three or more of the following design elements or treatments to the building corner facing the intersection:

- A corner entrance to courtyard, building lobby, atrium, or pedestrian pathway.
- A significant corner bay window or turret.
- Roof deck or balconies on upper stories.
- Building core setback "notch" or curved façade surfaces.
- Sculpture or artwork, either bas-relief, figurative, or distinctive use of materials as part of the building.
- Change of materials.
- Corner windows.
- Special lighting.
- Significant feature such as a clock or flag pole.
- Special (unique treatment of the pedestrian weather protection canopy at the corner of the building.
- Other similar treatment or element approved by the Director.



Figure E.5.1-1. To emphasize its street corner location, this building uses a cropped corner, change in building materials, decorative façade elements, and a modulated roofline.

E.6 Building Design Details

INTENT:

- ◆ To ensure that buildings have design interest at all observable distances.
- ◆ To enhance the character and identity of the CBC zone.
- ◆ To enhance the pedestrian environment.
- ◆ To encourage creativity in the design of storefronts.

DISCUSSION

When buildings are seen from a distance, the most noticeable qualities are the overall form and color. A three-story commercial building that is 100 feet wide and 35 feet tall must be observed at least 200 feet away in order for the building to fit within a person's cone of vision so its overall shape can be perceived. At that distance, windows, doors, and other major features are clearly visible. However, within 60 feet to 80 feet from the building (approximately the distance across a typical street), a person notices not so much the building's overall form as its individual elements. At closer distances, the most important aspects of a building are its design details, texture of materials, quality of its finishes, and small, decorative elements. In a pedestrian-oriented business area, it is essential that buildings and their contents be attractive up close. Therefore, these Guidelines require all buildings to incorporate design details and small scale elements into their façades.

GUIDELINES:

E.6.1 Design Details

- a. All new buildings and individual storefronts shall include on the façades that face a pedestrian-oriented street, park, or pedestrian route at least three of the following design features:
 - (1) Distinctive rooflines, such as an ornamental molding, entablature, frieze, or other roofline device visible from the ground level. If the roofline decoration is in the form of a linear molding or board, then the molding or board must be at least 8" wide.
 - (2) Special treatment of windows and doors, other than standard metal molding/framing details, around all ground floor windows and doors, decorative glazing, or door designs.
 - (3) Decorative light fixtures with a diffuse visible light source or unusual fixture.
 - (4) Decorative building materials, such as decorative masonry, shingle, brick, or stone.

- (5) Individualized patterns or continuous wood details, such as fancy butt shingles (a shingle with the butt end machined in some pattern, typically to form geometric designs), decorative moldings, brackets, trim or lattice work, ceramic tile, stone, glass block, carrera glass, or similar materials.

The applicant must submit architectural drawings and material samples for approval.

- (6) Use of a landscaping treatment as part of the building's design, such as planters or wall trellises.

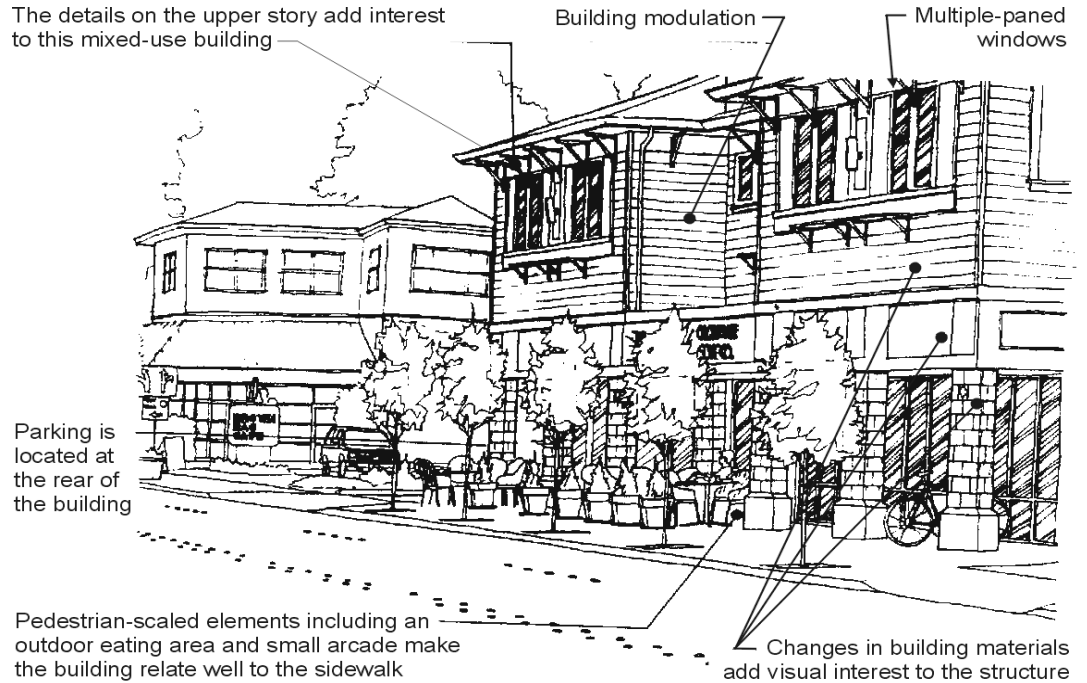


Figure E.6.1-1. The use of different building materials, window treatments, and roofline brackets adds to the visual interest of this building.

- (7) Decorative or special railings, grill work, or landscape guards.
- (8) Landscaped trellises, canopies, or weather protection.
- (9) Decorative artwork, which may be freestanding or attached to the building and may be in the form of mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, free standing sculpture, art in pavement, or other similar artwork. Painted murals or graphics on signs or awnings do not qualify.
- (10) Sculptural or hand-crafted signs.
- (11) Special building elements, such as pilasters, entablatures, wainscots, canopies, or marquees that exhibit nonstandard designs.

- (12) Other similar features or treatment that satisfies the Intent of the Guidelines as approved by the Director.

Figure E.6.1-2. The building provides a number of details enhance the pedestrian environment, including decorative lighting, planter boxes, decorative awnings, historical plaques, and decorative façade elements.



that

E.7 Materials

INTENT:

- ◆ To encourage the use of a variety of high-quality compatible materials that will upgrade the visual image of the Capitol Boulevard Community zone.

GUIDELINES:

E.7.1 Materials

The following are allowed only with special detailing, as described below:

- a. Metal siding. When used as a siding material over more than 25 percent of a building's façade visible from a public street, pathway, or park, metal siding must:
 - (1) Have a matte finish in a neutral or earth tone such as buff, gray, beige, tan, cream, white, or a dulled color, such as barn-red, blue-gray, burgundy, ocher, or other color specifically approved by the Director.
 - (2) Include two or more of the following elements:
 - (a) Visible window and door trim painted or finished in a complementary color.
 - (b) Color and edge trim that cover exposed edges of the sheet metal panels.
 - (c) A base of masonry, stone, or other approved permanent material extending up to at least 2 feet above grade that is durable and satisfies the Intent of the Guidelines. (The intent is to provide more durable materials near grade level.)
 - (d) Other detail/color combinations for metal siding approved by the Director, provided design quality and permanence meet the intent of this section.

- b. Concrete block walls. Concrete block construction used over 25 percent of a building façade visible from a public roadway, pathway, or park must be architecturally treated in one or more of the following ways:
 - (1) Use of textured blocks with surfaces such as split face or grooved.
 - (2) Use of other masonry types, such as brick, glass block, or tile in conjunction with concrete blocks.
 - (3) Use of decorative coursing to break up blank wall areas.
 - (4) Use of matching colored mortar where color is an element of architectural treatment for any of the options above.
 - (5) Other treatment approved by the Director.
- c. Requirements for Exterior Insulation and Finish System (EIFS) and similar troweled finishes:
 - (1) To avoid deterioration, EIFS must be trimmed and/or sheltered from extreme weather by roof overhangs or other methods.
 - (2) EIFS may only be used in conjunction with other approved building materials.
 - (3) EIFS is prohibited within 2 vertical feet of the sidewalk or ground level or in areas that are especially subject to vandalism such as areas with low visibility.



Figure E.7.1-1. This storefront effectively combines EIFS and concrete block with wood trim and metal detailing.

- d. Prohibited materials:
 - (1) Mirrored glass.

- (2) Corrugated fiberglass.
- (3) Chain link fencing within 50 feet of a building's public entrance (except for temporary purposes such as a construction site).
- (4) Crushed colored rock or tumbled glass.
- (5) Any sheet materials, such as wood or metal siding, with exposed edges or unfinished edges, or made of nondurable materials.
- (6) Any spray-on materials (e.g.: shot-crete) not specifically approved by the Director.
- (7) Non durable materials subject to deterioration if exposed to weather such as most plastics and synthetic materials or that are particularly vulnerable to vandalism.

E.8 Blank Walls

INTENT:

- ◆ To reduce the visual impact of large, undifferentiated walls.
- ◆ To reduce the apparent size of large walls through the use of various architectural and landscaping treatments.
- ◆ To enhance the character and identity of Tumwater’s commercial areas.
- ◆ To ensure that all visible sides of buildings provide visual interest.

GUIDELINES:

E.8.1 Blank Walls

All blank walls (see Definitions Section G) within 50 feet of the street, pedestrian pathway, park, or adjacent property, and also visible from that street, pedestrian pathway, park, or adjacent property, shall be treated in one or more of the following measures:

- a. Install a vertical trellis in front of the wall with climbing vines or plant materials. For large blank wall areas, the trellis must be used in conjunction with other treatments described below;
- b. Provide a landscaped planting bed or a raised planter bed in front of the wall of sufficient size to support plant materials that will obscure or screen at least 50 percent of the wall’s surface within 4 years;
- c. Provide artwork (mosaic, mural, sculpture, relief, etc.) over at least 50 percent of the blank wall surface;
- d. Other methods as approved by the Director. For example, landscaping or other treatments may not be necessary on a wall that employs high quality building materials (such as brick) and provides desirable visual interest.
- e. Special architectural lighting may be used to highlight a successful treatment.

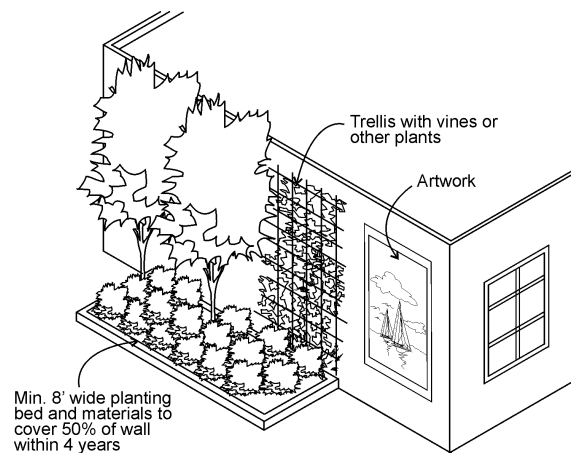


Figure E.8.1-1. Blank wall treatments.



Figure E.8.1-2. Terraced planting beds, artwork and landscaping can effectively treat a blank wall.

E.9 Building Entrances

INTENT:

- ◆ To ensure that buildings and businesses are inviting and accessible.
- ◆ To encourage pedestrian activity.

GUIDELINES:

E.9.1 Principal Building Entrances

The principal building entrances (i.e., the building entrance used by commercial customers, residents, or visitors) of all buildings shall feature all of the following improvements:

- a. Pedestrian covering. Building entrances must be covered by at least 50 square feet of pedestrian weather protection. Entries may satisfy this requirement by being set back into the building façade.
- b. Lighting. Lighting shall conform to F.1.
- c. Building or business name. Entries must be identified with respect to building and/or business.
- d. Visibility. Building entrances must be visible from the roadway and major public pedestrian pathway.
- e. Transparency. Entries must feature glass doors, windows, or glazing (window area) near the door so that the visitor and occupant can view people opening the door from the other side (not required for entries leading directly to a single residential dwelling).
- f. Security. To the extent feasible, entries must be visible from areas with high pedestrian activity or where residents can view the entry (passive surveillance).

- g. Architectural or artwork enhancements. Building entrances must be enhanced by one or more of the following measures. Entrances on pedestrian-oriented streets must feature two of the following measures.
- (1) Special or ornamental doors, windows, or other architectural elements.
 - (2) Special paving or materials (e.g., decorative tile work).
 - (3) Special architectural lighting.
 - (4) Landscaping.
 - (5) Artwork.
 - (6) Adjacent pedestrian-oriented open space.



Figure E.9.1-1 Entrances enhanced by details and materials, complex architectural elements, site features and lettering

E.9.2 Secondary Public Access for Commercial Buildings

Although these Guidelines require businesses on a pedestrian-oriented street within the CBC zones to front on streets rather than parking areas, a large number of customers use the “secondary” entry off of a parking area. Such businesses that have secondary public access shall comply with the following measures to enhance secondary public access (applies only to entries used by the public):

- a. Weather protection at least 3 feet deep is required over each secondary entry.
- b. A sign may be applied to the awning provided that the sign complies with other regulations and guidelines.
- c. Lighting shall conform to F.1.
- d. Two or more of the design elements noted in E.9.1.g above must be incorporated within or adjacent to the secondary entry.



Figure E.9.2-1. Example of secondary public access. Note the planters, window sign, and awning.

E.10 Parking Garage Design

INTENT:

- ◆ To minimize negative visual impacts of parking garages.

GUIDELINES:

E.10.1 Parking Garage Design

- Parking garages must be designed to obscure the view of parked cars at the ground level.
- Where the garage wall is built within 10 feet of the sidewalk edge, the façade shall incorporate a combination of artwork, grillwork, special building material or treatment/design, and/or other treatments as approved by the City that enhance the pedestrian environment. Small setbacks with terraced landscaping elements can be particularly effective in softening the appearance of a parking garage.
- Upper-level parking garages must use articulation treatments that break up the massing of the garage and add visual interest.
- Alternatively, for parking garages screened from public roadways by a building (i.e.: a building located between the garage and the public street)(a) and (b) above do not apply.

See Figures E.10.1-1 through E.10.1-3 on the following page for example parking garage treatments.



Figure E.10.1-1. The side of this parking garage includes some decorative grillwork and a raised brick planter to enhance the pedestrian environment.



Figure E.10.1-2. This building uses openings on its second level parking area to resemble windows.



Figure E.10.1-3. Design parking garages to obscure the view of parked cars. Note the landscaping that separates the garage from pedestrians.

F. Lighting

F.1 Site Lighting

INTENT:

- ◆ To encourage the use of lighting as an integral design component to enhance buildings, landscaping, or other site features.
- ◆ To increase night sky visibility and to reduce the general illumination of the sky.
- ◆ To reduce horizontal light glare and vertical light trespass from a development onto adjacent parcels and natural features.
- ◆ To use lighting in conjunction with other security methods to increase site safety.
- ◆ To prevent the use of lighting for advertising purposes.

GUIDELINES:

F.1.1 Site Lighting Levels

- a. All publicly accessible areas shall be lighted with average minimum and maximum levels as follows:
 - (1) Minimum for low or non-pedestrian and vehicular traffic areas - 0.5 foot candles;
 - (2) Minimum for moderate or high volume pedestrian areas - 1-2 foot candles; and
 - (3) Maximum (for high volume pedestrian areas and building entries) – up to 4 foot candles.
- b. Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.
- c. Pedestrian lighting shall have a maximum height of 15 feet.

F.1.2 Light Quality and Shielding

- a. Parking area lighting fixtures shall be full cut-off; dark sky rated and mounted no more than 20 feet above the ground, with lower fixtures preferable so as to maintain a human scale.
- b. Exterior lighting must comply with TMC 18.40.35: Exterior Illumination.

F.1.3 Architectural Lighting

The lighting of building features, artwork, and special landscape elements may be allowed, subject to the findings of the Director that the light causes no significant adverse impact.

G. Definitions

Access Street. A private street that is independent of parking area circulation and connects public rights-of-way or provides primary access to and within a site.

Architectural scale is the perceived height and bulk of a building relative to that of neighboring buildings. A building has “good architectural scale” if its visual size is relatively similar to its neighbors.

Art, Artwork. A device, element, or feature whose primary purpose is to express, enhance, or illustrate aesthetic quality, feeling, physical entity, idea, local condition, historical or mythical happening, or cultural or social value. Examples of artwork include sculpture, bas-relief sculpture, mural, or unique specially crafted lighting, furniture, pavement, landscaping, or architectural treatment that is intended primarily, but not necessarily exclusively, for aesthetic purpose. Signs, upon approval by the Director, may be considered artwork provided they exhibit an exceptionally high level of craftsmanship, special material, or construction, and include decorative devices or design elements that are not necessary to convey information about the business or product. Signs that are primarily names or logos are not considered art.

Articulation. Visually breaking up a building façade into intervals by including repetitive features, such as broken rooflines, chimneys, entrances, distinctive window patterns, street trees, and modulation.

Balcony. An outdoor space built as an above-ground platform projecting from the wall of a building and enclosed by a parapet or railing.

Bas-relief. A sculptural carving, embossing, or casting that projects very little from the background.

Bay Window. A window that protrudes from the main exterior wall. Typically, the bay contains a surface which lies parallel to the exterior wall, and two surfaces which extend perpendicularly or diagonally out from the exterior wall. To qualify as a bay, the bay must contain a window pane which extends at least 60 percent of the length and 35 percent of the height of the surface of the bay which lies parallel to the exterior wall. There need not be windows in the surface which extend out from the exterior wall.

Blank Walls. Walls subject to "blank wall" requirements meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 square feet of vertical surface without a window, door, or building modulation or other architectural feature.
- Any ground level wall surface or section of a wall over 4 feet in height at ground level that is longer than 15 feet as measured horizontally without having a ground level window or door lying wholly or in part within that 15-foot section.

Director. The Tumwater Community Development Director or his or her designee.

Courtyard. A landscaped space enclosed on at least three sides by a single structure.

Curb Cut. A depression in the curb for the purpose of accommodating a driveway that provides vehicular access between private property and the street.

Deck. A roofless outdoor space built as an above-ground platform projecting from the wall of a building and connected to the ground by structural supports.

Exterior Insulation and Finish System (EIFS): EIFS is an exterior wall cladding that utilizes rigid insulation boards on the exterior of the wall sheathing with a plaster appearance exterior skin.

Façade. Any portion of an exterior elevation of a building extending from the grade of the building to the top of the parapet wall or eaves, for the entire width of the building elevation.

Feasible. For the purpose of these guidelines, an action or element is “feasible” if it can be accomplished within standard construction and development practices, as determined by the Director. Generally, an action or element is considered infeasible only if it is physically impossible or if it substantially alters the intent of the project. An element or action may be considered feasible even if it raises the cost of that aspect or element of the project.

Frontage. As used in the code, frontage refers to the length of a property line along a street.

Front Yard. The area between the street and the nearest building façade.

Gross Floor Area. The sum of all at or above grade building floor areas measured at the exterior walls, including covered exterior areas such as porches or covered parking areas or decks. If the building includes more than one story, the floor area of upper stories is calculated as part of Gross Floor Area. Awnings or canopies along building fronts less than 8 feet in width (measure perpendicularly to the building front) are not counted as Gross Floor Area.

Horizontal Modulation. Refers to upper level building step backs. For example, this could include a building where two floors of the building front directly on the sidewalk, but the third floor is set back a distance from the front facade, and thus it may not even be visible from the sidewalk and portions of the street below.

Landscaping. An area is considered to be landscaped if it is:

- Planted with vegetation in the form of hardy trees, shrubs, or grass or evergreen ground cover maintained in good condition.
- Occupied by sculptures, fountains or pools, benches, or other outdoor furnishings.
- Occupied by such recreational facilities as playground equipment, swimming pools, game courts, etc.

Major Exterior Remodel. A proposed improvement to any existing building structure or property that changes the exterior appearance of the property and meets either of the criteria below:

- Estimated value of construction exceeds 50 percent of the value of the existing built facilities as determined by the City’s building valuation procedure.
- Construction includes an addition to or extension of an existing building that increases gross floor area by 1,000 sq. ft.

Minor Exterior Remodel. Any improvement that changes the visual appearance or exterior configuration of a building structure or property, and which has a value less than 50 percent of the existing built facilities as determined by the City's building valuation procedure. Painting and restorative maintenance are not considered minor remodels.

Modulation. In the Guidelines, modulation is a stepping back or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

Pedestrian-Oriented Building Façades. Ground floor façades which employ at least one of the following characteristics:

- Transparent window areas or window displays along at least 75 percent of the ground floor façade. The window area must cover the area between 2 feet and 8 feet above the sidewalk or walkway surface.
- A combination of sculptural, mosaic, or bas-relief artwork, and transparent window areas or window displays (as described above) over at least 75 percent of the ground floor façade.

Pedestrian-oriented open space and pedestrian-oriented space. An area between a building and a street, access road, an area along a pedestrian path, or other open space such as plaza or outdoor seating area which promotes visual and pedestrian access onto the site and which provides pedestrian-oriented amenities and landscaping to enhance the public's use of the space for passive activities such as resting, reading, picnicking, etc. See Guideline Section C.2.

Pedestrian-Oriented Use (or Business). A commercial enterprise whose customers commonly arrive by foot; or whose signage, advertising, window display, and entryways are oriented toward pedestrian traffic. Pedestrian-oriented businesses may include restaurants, retail shops, personal service businesses, travel services, banks (except drive-through windows), and similar establishments.

Pedestrian Oriented Cross Streets, Primary: Ruby Street SE, Gerth Street SW and SE, "X" Street SW and SE, and E "Z" Street.

Pedestrian Oriented Cross Streets, Secondary: W and E Lee Street. W and E "T" Street, W and E Dennis Street.

Scale, Human. The perceived size of a building relative to a human being. A building is considered to have "good" human scale if there is an expression of human activity or use that indicates the building's size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, so these elements in a building indicate a building's overall size.

Scale, Architectural. The perceived relative height and bulk of a building relative to that of neighboring buildings. A building's apparent height and bulk may be reduced by modulating façades.

Site. The legal property parcel or lot on which the development is to be constructed. If the development involves more than one parcel or lot, then all are considered part of the "site".

Streetscape. The streetscape is the visual character of a street as determined by various elements such as structures, greenery, open space, views.

TMC. Tumwater Municipal Code.

Vertical Modulation. A stepping back or projecting forward vertical walls of a building face, within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.